

ABBREVIATIONS

ABV	above	FIN	finish (ed)
AFF	above finish floor	FFE	finished floor elevation
ASC	above suspended ceiling	FFL	finished floor line
ACC	access	FA	fire alarm
ACFL	access floor	FBRK	fire brick
AP	access panel	FE	fire extinguisher
AC	acoustical	FEC	fire extinguisher cabinet
ACPL	acoustical plaster	FHS	fire hose station
ACT	acoustical tile	FPL	fireplace
ACR	acrylic plastic	FP	fireproof
ADD	addendum	FRC	fire-resistant coating
ADH	adhesive	FRT	fire-retardant
ADJ	adjacent	FLG	flashing
ADJT	adjustable	FHMS	flathead machine screw
AGG	aggregate	FHWS	flathead wood screw
A/C	air conditioning	FLX	flexible
ALT	alternate	FLR	floor (ing)
AL	aluminum	FLCO	floor cleanout
ANC	anchor, anchorage	FD	floor drain
AB	anchor bolt	FPL	floor plate
ANOD	anodized	FLUR	fluorescent
APX	approximate	FJT	flush joint
ARCH	architect (ural)	FTG	footing
AD	area drain	FRG	forged
ASB	asbestos	FND	foundation
ASPH	asphalt	FR	frame (d), (ing)
AT	asphalt tile	FRA	fresh air
AUTO	automatic	FS	full size
BP	back plaster (ed)	F	furnished by others
BSMT	basement	FUR	furnish (ing)
BRG	bearing	FUT	future
BPL	bearing plate	GA	gage, gauge
BJT	bed joint	GV	galvanized
BM	bench mark	GI	galvanized iron
BEL	below	GP	galvanized pipe
BET	between	GSS	galvanized steel sheet
BVL	beveled	GKT	gasket (ed)
BIT	bituminous	GC	general contract (or)
BLK	block	GL	glass, glazing
BLKG	blocking	GLB	glass block
BD	board	GLF	glass fiber
BW	both ways	GCMU	glazed concrete masonry units
BOT	bottom	GST	glazed structural tile
BRK	brick	GB	grab bar
BRZ	bronze	GD	grade, grading
BLDG	building	GRN	granite
BUR	built up roofing	GVL	gravel
BBD	bulletin board	GF	ground face
CAB	cabinet	GT	gROUT
CAD	cadmium	GPDW	gypsum dry wall
CPT	carpet (ed)	GPL	gypsum lath
CSMT	casement	GPPL	gypsum plaster
CI	cast iron	GPT	gypsum tile
CIPC	cast-in-place concrete	HH	handhold
CST	cast stone	HBD	hardboard
CB	catch basin	HDW	hardware
CK	caulk (ing) caulk (ing)	HWD	hardwood
CLG	ceiling	HJT	head joint
CHT	ceiling height	HDR	header
CEM	cement	H	heating
CPL	cement plaster (portland)	HVAC	heating/ventilation/air conditioning
CM	centimeter (s)	HD	heavy duty
CER	ceramic	HT	height
CT	ceramic tile	HX	hexagonal
CMT	ceramic mosaic (tile)	HES	high early-strength
CKBD	chalkboard	HC	hollow core
CHAM	chamfer	HM	hollow metal
CR	chromium (plated)	HK	hook (s)
CIR	circle	HOR	horizontal
CIRC	circumference	HB	hose bibb
CLR	clear (ance)	HWH	hot water heater
CLS	closure	INCIN	incinerator
COL	column	INCL	include (d), (ing)
COMB	combination	ID	inside diameter
COMPT	compartment	INS	insulate (d), (ion)
COMPO	composition (composite)	INSC	insulating concrete
COMP	compress (ed), (ion), (ble)	INSF	insulating fill
CONC	concrete	INT	interior
CMU	concrete masonry unit	ILK	interlock
CX	connection	INTM	intermediate
CONST	construction	INV	invert
CONT	continuous or continue	IPS	iron pipe size
CONTR	contract (or)	J	janitor's closet
CLL	contract limit line	JT	joint
CJT	control joint	JF	joint filler
CPR	copper	J	joist
CG	corner guard	KCP	keene's cement plaster
CORR	corrugated	KPL	kickplate
CTR	counter	KIT	kitchen
CFL	counterfashing	K	knockout
CS	countersink	LBL	label
CTSK	countersink screw	LAB	laboratory
CRS	course (s)	LAD	ladder
CRG	cross grain	LB	lag bolt
CFT	cubic foot	LAM	laminare
CYD	cubic yard	LAV	lavatory
DPR	damp	LH	left hand
DP	dampproofing	L	length
DL	dead load	LT	light
DEM	demolish, demolition	LC	light control
DMT	demountable	LP	lightproof
DEF	depressed	LW	lightweight
DLT	detail	LWC	lightweight concrete
DIAG	diagonal	LMS	limestone
DIA	diameter	LTL	lintel
DM	dimension	LL	live load
DPR	dispenser	LVR	louver
DIV	division	LPT	low point
DR	door	MB	machine bolt
DA	doubbleacting	MI	malleable iron
DH	double hung	MH	MH manhole
DTA	dovetail anchor	MFR	manufacture (er)
DTS	dovetail anchor slot	MRB	marble
DS	downspout	MAS	masonry
D	drain	MO	masonry opening
DRB	drainboard	MTL	material (s)
DT	drain tile	MAX	maximum
DWR	drawer	MECH	mechanic (al)
DWG	drawing	MC	medicine cabinet
DF	drinking fountain	MED	medium
DW	dumbwater	MBR	member
EF	each face	MMB	membrane
E	east	MET	metal
ELEC	electric (al)	MFD	metal floor decking
EP	electrical panelboard	MTRF	metal furning
EWC	electric water cooler	MFD	metal roof decking
EL	elevation	MTR	metal threshold
ELEV	elevator	M	meter
EMER	emergency	MM	millimeter (s)
ENC	enclose (ure)	MWK	millwork
EQ	equal	MIN	minimum
EQP	equipment	MIR	mirror
ESC	escalator	MISC	miscellaneous
EST	estimate	MOD	modular
EXCA	excavate	MLD	molding, moulding
EXH	exhaust	MR	mop, receptor
EXG	existing	MT	mount (ed), (ing)
EXMP	expanded metal plate	MOV	movable
EB	expansion bolt	MULL	mullion
EXP	exposed	NL	naillable
EXT	exterior	NAT	natural
EXS	extra strong	NI	nickel
FB	face brick	NR	noise reduction
FOC	face of concrete	NRC	noise reduction coefficient
FOF	face of finish	NOM	nominal
FOM	face of masonry	N	nonmetallic
FOS	face of studs	N	North
FF	factory finish	NIC	not in contract
FAS	fasten fastener	NTS	not to scale
FBD	fiberboard		
FN	fence		
FGL	fiberglass		

MATERIALS LEGEND

	CONTINUOUS WOOD BLOCKING
	NON-CONTINUOUS WOOD BLOCKING (SHIM)
	STEEL
	GYPSUM BOARD
	PLYWOOD
	RIGID INSULATION
	BATT INSULATION
	CONCRETE MASONRY UNITS

SYMBOLS

	ELEVATION SYMBOL
	SECTION/DETAIL SYMBOL
	WALL TYPE SYMBOL
	WINDOW SYMBOL
	ROOM NAME & NUMBER SYMBOL
	FINISH NUMBER
	DOOR SYMBOL

GENERAL NOTES

1. ALL CONSTRUCTION INCLUDING MATERIAL AND WORKMANSHIP, SHALL CONFORM TO THE 2018 INTERNATIONAL EXISTING BUILDING CODE.
2. ALL ASTM STANDARDS LISTED HERE WITHIN, SHALL BE AS REFERENCED IN THE LATEST ISSUE OF THE ANNUAL BOOK OF STANDARDS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS
3. THE CONTRACTOR, SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE BEGINNING WORK. THE ARCHITECT AND ENGINEER, SHALL IMMEDIATELY BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL CAREFULLY STUDY AND COORDINATE THE MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS WITH THE ARCHITECTURAL WORK PRIOR TO INSTALLATION AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ALL APPARENT INCONSISTENCIES FOR CLARIFICATION.
4. ALL OMISSIONS AND OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER. WORK SHOULD NOT PROCEED UNTIL A SOLUTION IS GIVEN BY THE ARCHITECT OR ENGINEER.
5. IN CASE OF CONFLICTS BETWEEN GENERAL NOTES AND DETAILS, THE DETAILS, SHALL TAKE PRECEDENCE OVER THE GENERAL NOTES. TYPICAL DETAILS, SHALL BE USED WHENEVER APPLICABLE. REFER TO SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE NOTES.
6. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF WORK, THE CONSTRUCTION OR DRAWINGS SHALL BE THE SAME AS FOR SIMILAR WORK.
7. COORDINATE FOUNDATION PLANS AND MECHANICAL DRAWINGS, FOR ALL OPENINGS, INSERTS AND OTHER RELATED ITEMS.
8. DIMENSIONS ARE TO FINISH FACE OF WALLS UNLESS NOTED OTHERWISE.
9. ADDITIONAL MISCELLANEOUS STEEL ITEMS NOT SHOWN ON STRUCTURAL DRAWINGS MAY BE REQUIRED. GENERAL CONTRACTOR AND FABRICATOR SHALL COORDINATE ALL REQUIREMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ALL APPARENT INCONSISTENCIES FOR CLARIFICATION. (SUCH AS SIMPSON STRONG TIES)
10. DO NOT DIMENSION THIS DRAWING. ANY DIMENSIONS, QUESTIONS, SHOULD BE DIRECTED TO THE ARCHITECT OR ENGINEER.

PROJECT CONTACTS

STARR COUNTY

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MEP:

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INDEX OF DRAWINGS

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A0.1 EGRESS PLAN
ARCHITECTURAL
AS1.0 SITE PLAN
ASD1.0 DEMO SITE PLAN
D1.0 DEMO PLANS
D2.0 EXTERIOR ELEVATIONS- DEMO
A1.0 FLOOR PLAN
A2.0 EXTERIOR ELEVATIONS
A3.0 ENLARGED PLANS
A3.1 RESTROOM ELEVATIONS
A4.0 REFLECTED CEILING PLAN
A5.0 BUILDING SECTIONS
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A6.0 INTERIOR ELEVATIONS
A7.0 SCHEDULES
A7.1 FINISH FLOOR
A7.2 PARTITION SCHEDULE
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MPE1.0 SYMBOL SHEET
MPE2.0 SITE PLAN
M1.1 MECHANICAL PLAN
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P1.1 DOMESTIC WATER PLAN
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E2.1 ELECTRICAL POWER PLAN
E3.1 SCHEDULES
E4.1 RISER

STARR COUNTY COURTHOUSE
TEMPORARY HOUSING
INTERIOR BUILD-OUT

1920 W. US-83, RIO GRANDE CITY, TX. 78582

ISSUE FOR BIDS

STARR COUNTY COMMISSIONERS COURT

ELOY VERA, STARR COUNTY JUDGE

JOSE FRANCISCO "KIKO" PEREZ..... PRECINCT 1

RAUL PENA, III..... PRECINCT 2

ELEAZAR VELASQUEZ..... PRECINCT 3

HERNAN GARZA..... PRECINCT 4

LOCATION MAP



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11/12/2025

STARR COUNTY COURTHOUSE TEMPORARY
HOUSING INTERIOR BUILD-OUT
STARR COUNTY
1920 US-83 RIO GRANDE CITY, TX

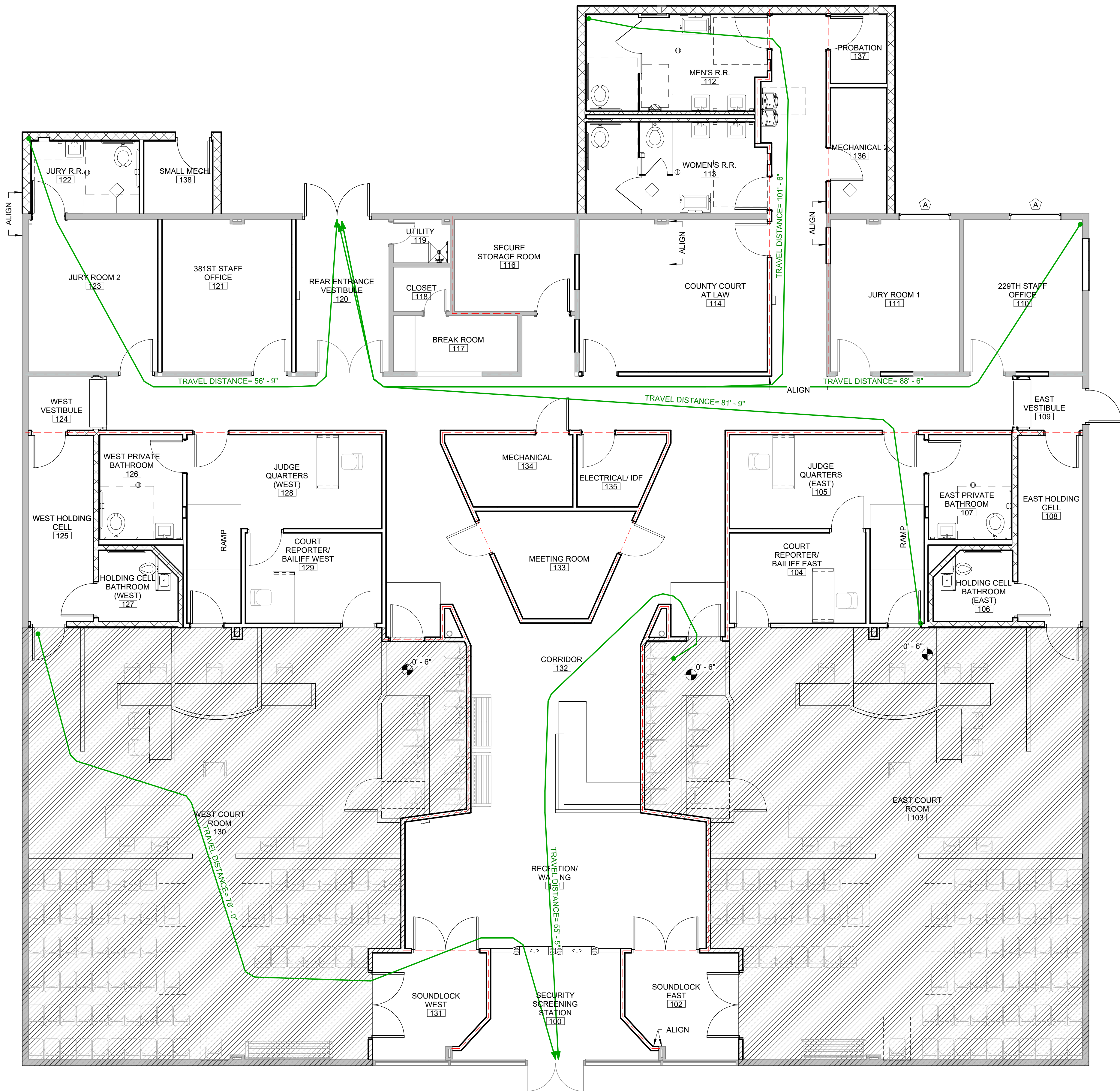
PROJECT NUMBER
224026

DATE
11.12.2025

ISSUE FOR BIDS

SHEET NUMBER

A0.0



1 EGRESS PLAN
3/16" = 1'-0"

GENERAL NOTES:

- OCCUPANT LOAD SIGNS SHALL BE POSTED IN ANY ROOM WITH AN OCCUPANT LOAD OVER 50.
- PROVIDE PANIC HARDWARE FOR GROUP "A" OCCUPANCIES WITH AN OCCUPANT LOAD OF 50 OR MORE.
- ALL FIRE AND SMOKE STOP RATED PARTITIONS MUST BE MARKED WITH 2.5" MIN. RED LETTERING ABOVE CEILING AS FOLLOWS: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS"

APPLICABLE CODES:

INTERNATIONAL EXISTING BUILDING CODE 2018
2012 TEXAS ACCESSIBILITY STANDARDS
INTERNATIONAL MECHANICAL CODE 2018
INTERNATIONAL PLUMBING CODE 2018
2015 NATIONAL ELECTRICAL CODE
INTERNATIONAL ENERGY CODE 2018
INTERNATIONAL FIRE CODE 2018

CODE SUMMARY

BUSINESS
AREA GROSS 4,732 S. F.
OCCUPANCY CLASSIFICATION GROUP "B-2"
CONSTRUCTION TYPE II B - UNPROTECTED, UNSPRINKLERED

ASSEMBLY
AREA GROSS 3,005 S. F.
OCCUPANCY CLASSIFICATION GROUP "A-3"
CONSTRUCTION TYPE II B - UNPROTECTED, UNSPRINKLERED

TOTAL AREA GROSS 7,737 S. F.
COVERED PORCH 1,195 S. F.

BUSINESS GROUP B-2 OCCUPANCY
4,732 SQFT, NET USABLE @ 150 SQFT, PER OCCUPANT 32 OCCUPANTS

ASSEMBLY A-3 OCCUPANCY
@ FIXED SEATING 230 OCCUPANTS

TOTAL: 262 OCCUPANTS

FIRE PROTECTION
AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED DUE TO:
• FIRE AREA DOES NOT EXCEED 12,000 SQFT
• FIRE AREA DOES NOT HAVE AN OCCUPANT LOAD OF 300 OR MORE
• FIRE AREA IS LOCATED ON A LEVEL OF EXIT DISCHARGE

A MANUAL FIRE ALARM SYSTEM IS NOT REQUIRE DUE TO:
• OCCUPANT LOAD IS LESS THAN 300 FOR GROUP A OCCUPANCY
• LOAD
• AUTOMATIC FIRE ALARM INCLUDED

PLUMBING FACILITIES			
	OFFICE FOR 32 OCCUPANTS REQUIRED	ASSEMBLY FOR 230 OCCUPANTS REQUIRED	HAVE
WATER CLOSETS	2	5	8 W/C & 1 URINAL
LAVATORIES	2	4	9
DRINKING FOUNTAINS	1	1	2
OTHER	1 SERVICE SINK	1 SERVICE SINK	1
EGRESS WIDTH PER OCCUPANT SERVED			
	REQUIRED		HAVE
0.15" PER OCCUPANT	262 * 0.15" = 39.3"		60"

OCCUPANCY LEGEND

	BUSINESS & ANCILLIARY AMENITIES
	ASSEMBLY

CODE PLAN LEGEND

LINE TYPE INDICATES: 1-HOUR FIRE RATED PARTITION WITH DAMPERS, 1/3 HOUR DOOR RATED ASSEMBLY

LINE TYPE INDICATES: EMERGENCY EXIT PATH OF TRAVEL

PARKING COUNT

PARKING SPACES REQUIRED: 1 SPACE/ 300 SQ FT
7,737/300 = 26

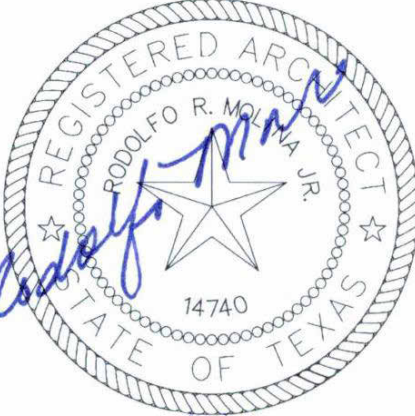
HANDICAP SPACES REQ. = 2 SPACES
TOTAL PARKING SPACES REQUIRED: 28 SPACES

CURRENT DESIGN:
PARKING SPACES
26 TOTAL PARKING SPACES
2 A.D.A PARKING SPACES



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STARR COUNTY
1920 US-83 RIO GRANDE CITY, TX

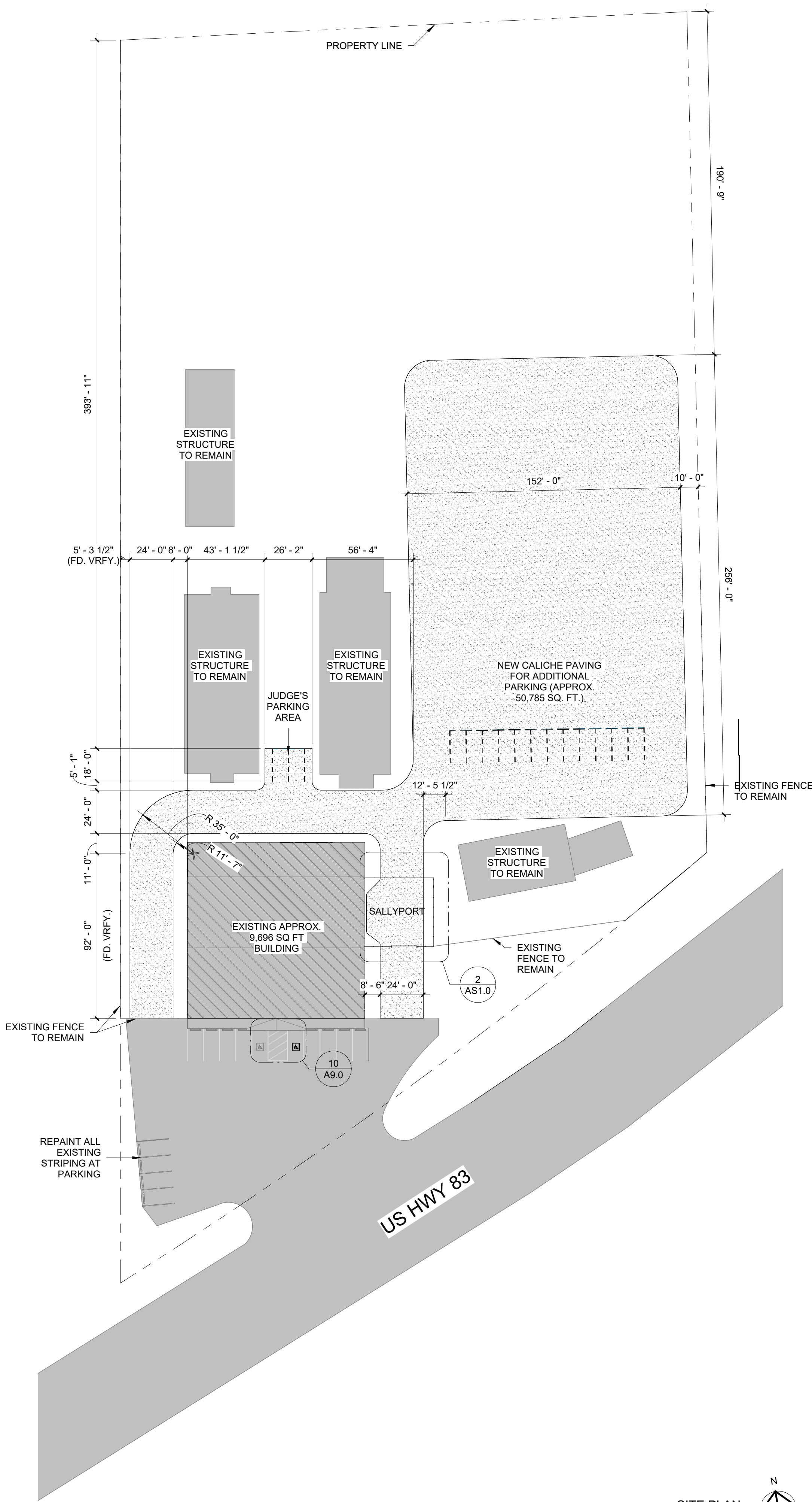
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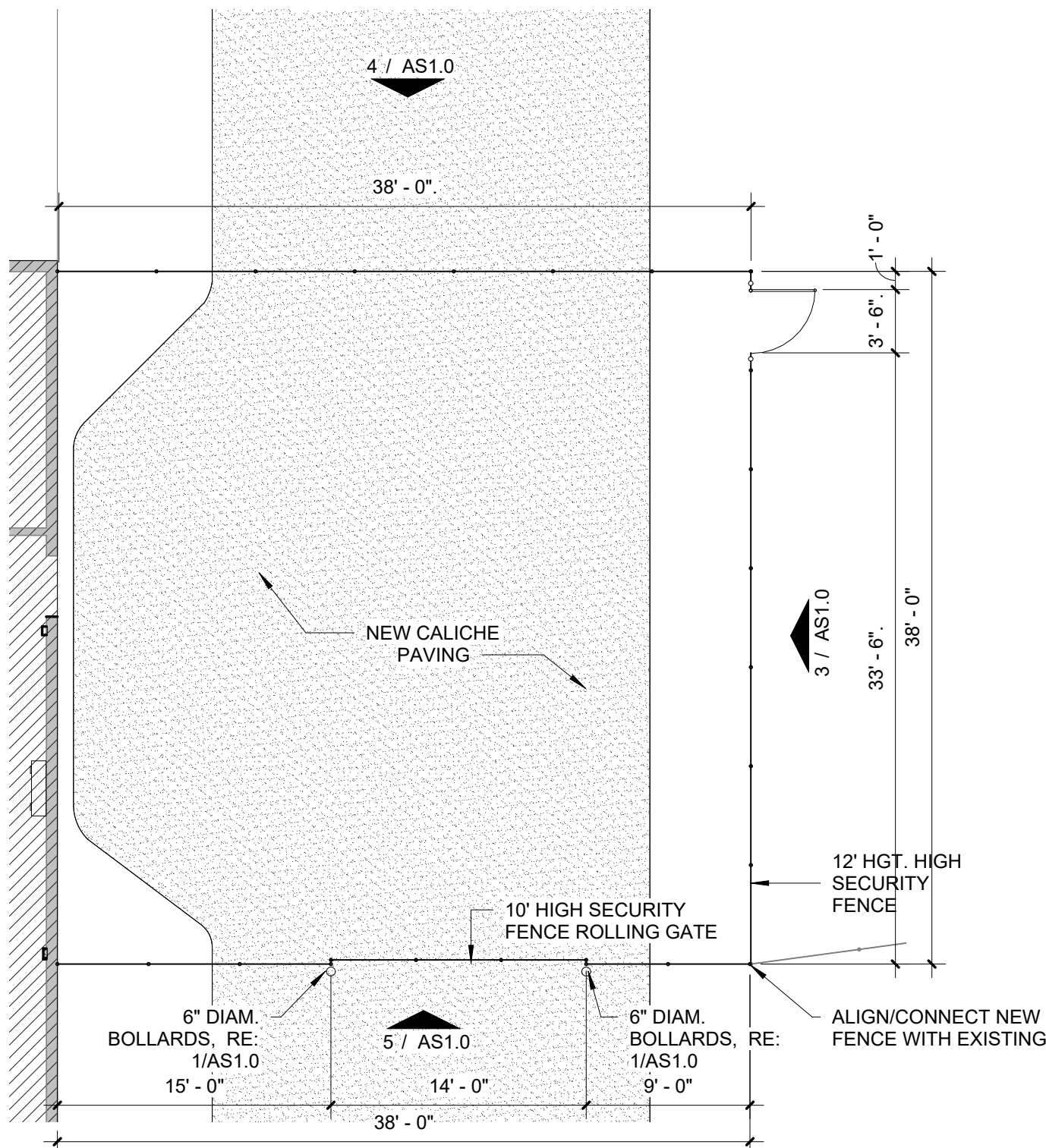
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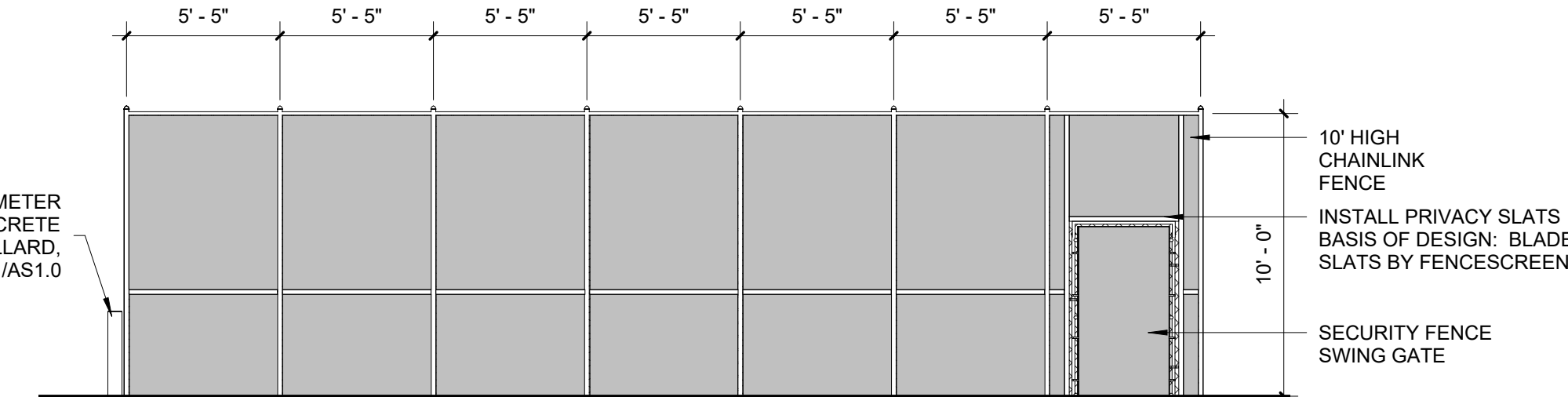
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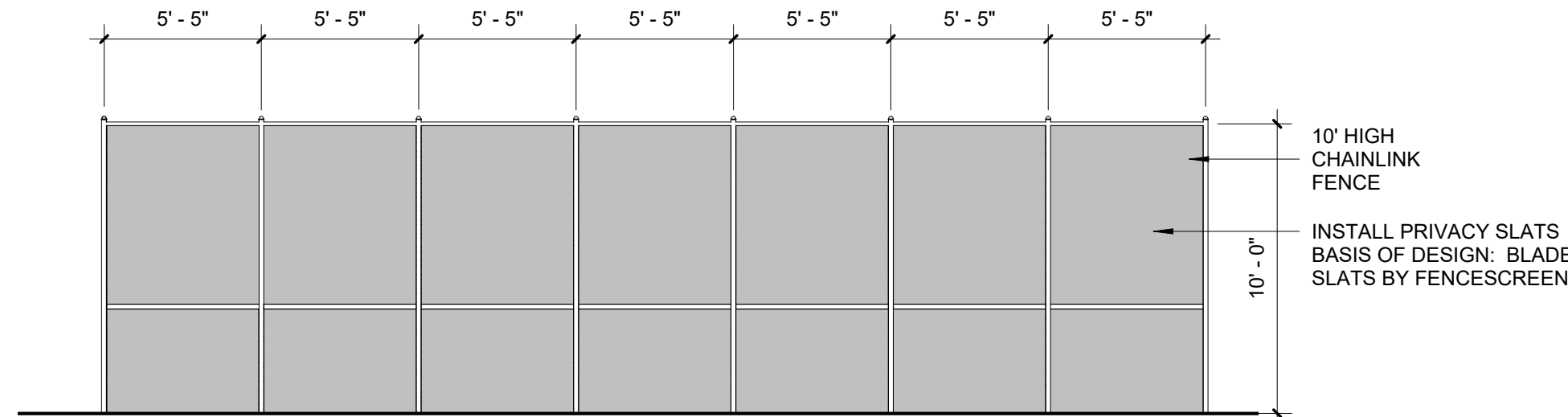
6 SITE PLAN
1" = 40'-0"



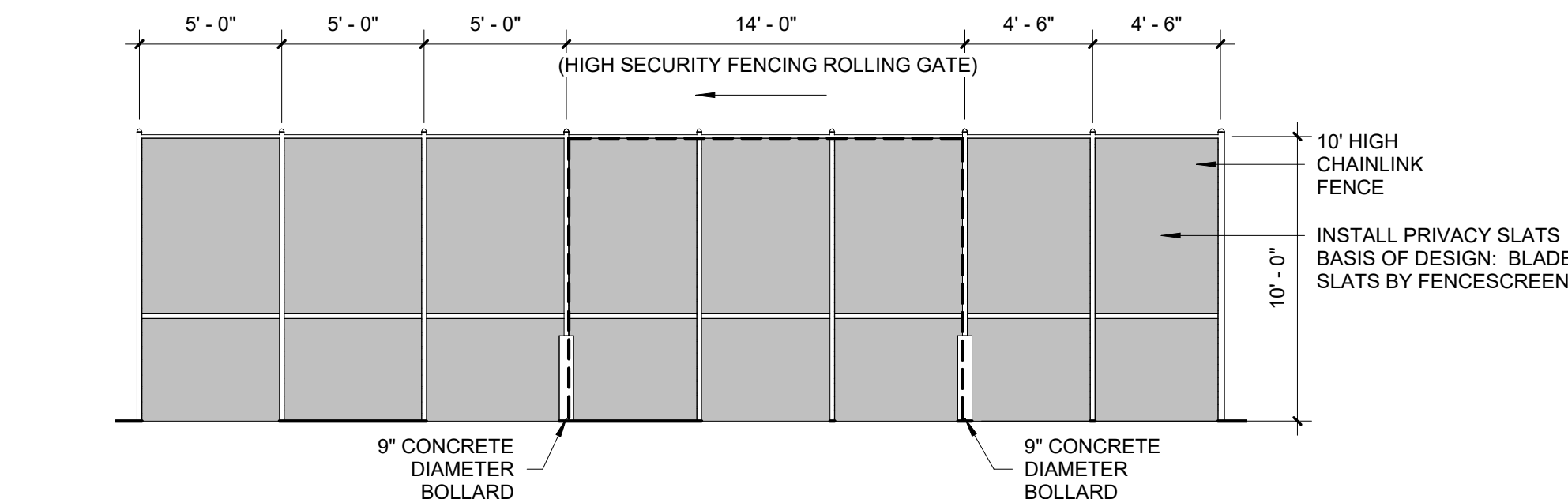
2 SALLY PORT PLAN
1/8" = 1'-0"



3 SALLYPORT EAST ELEVATION
3/16" = 1'-0"



4 SALLYPORT NORTH ELEVATION
3/16" = 1'-0"

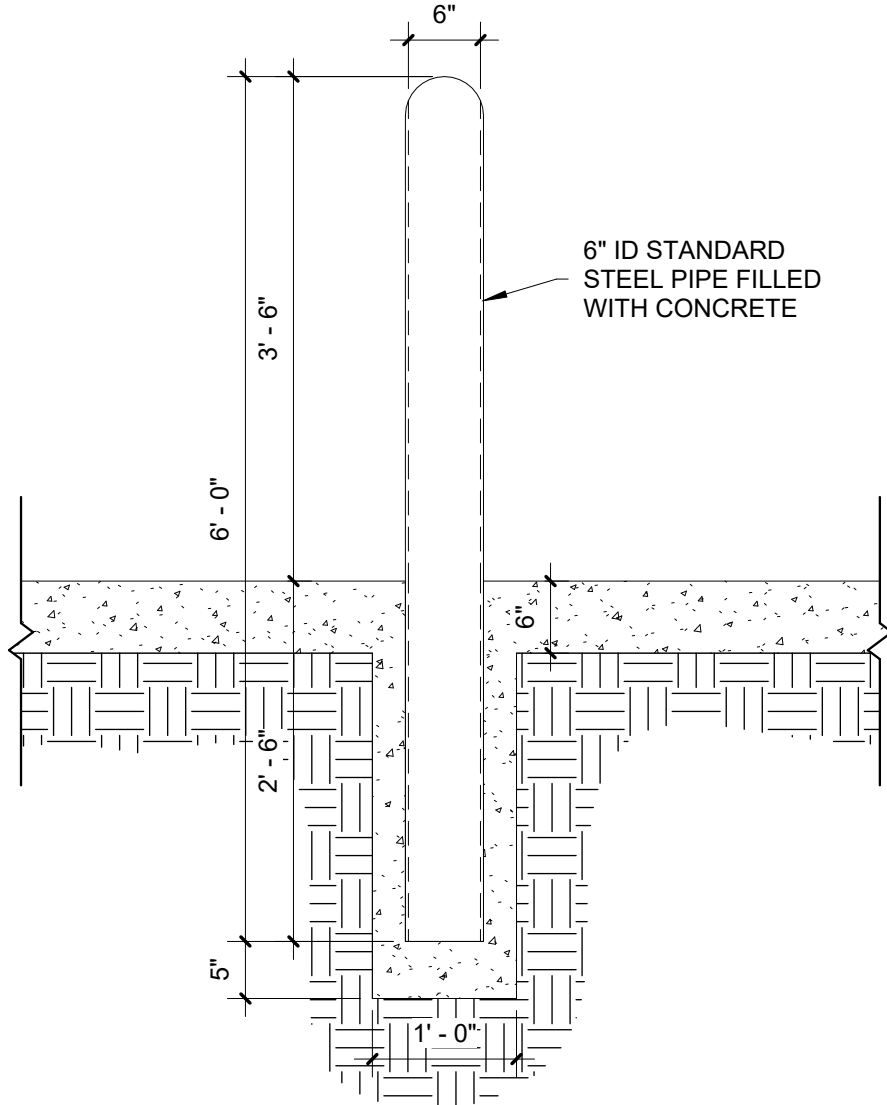


5 SALLYPORT SOUTH ELEVATION
3/16" = 1'-0"

GENERAL NOTES:

- OWNER WILL PROVIDE SOIL TESTS PRIOR TO FOUNDATION WORKS.
- PROVIDE SIDEWALK AS PART OF BASE BID.
- RE: CIVIL FOR UTILITY CONNECTIONS (U.R. WATER & SEWER.)
- WARNING:
CONTACT 1-800-DIG-TEST FOR UNDERGROUND ELECTRICAL CABLES IN SITE.
- ALL CONSTRUCTION AND MATERIALS FOR DRAINAGE, GRADING AND PAVING TO BE IN ACCORD WITH "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".
- ALL SOIL PLACED ONTO SITE IS TO BE COMPACTED TO 80% DENSITY, EXCEPT UNDER ANY PAVING COMPACTION IS TO BE 95%, BY OWNER. RE: CIVIL FOR ADDT. INFO.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL FOR CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PAYING ANY FEES FOR PERMITS AS MAY BE REQUIRED FOR THIS CONSTRUCTION.
- ALL PIPE SLEEVES SHALL BE SCH. 40 PVC AND FURNISHED IN PLACE BY THE CONTRACTOR BEFORE PAVING.

TUELECTRIC SLEEVES:
6" SLEEVES ARE TO BE DOVE GREY AND PLACED 48" BELOW TOP OF CURB ELEVATIONS. WITH END CONDUIT MARKERS FURNISHED BY TUELECTRIC PLACED ON EACH END OF CONDUIT.
IRRIGATION SLEEVES:
2" & 4" SLEEVES ARE TO BE PLACED 24" BELOW TOP OF CURB.
- CONTRACTOR TO SET CONTROL GRADES AT 25' INTERVALS ALONG ALL PAVING FLOW LINES.
- CONTRACTOR TO PROVIDE JOB SIGN. RE: 4/A9.0
- ALL SIDEWALKS AND COVERED WALKWAYS SHALL HAVE 1:50 MAXIMUM CROSS SLOPE. SIDEWALKS OR COVERED WALKWAYS THAT MUST HAVE SLOPES GREATER THAN 1:20 SHALL HAVE HANDRAILS ON BOTH SIDES WITH 4" HIGH CONC. CURBS ON BOTH SIDES. HANDRAILS SHALL BE 34" TO TOP A.F.F. THERE SHALL BE NO ABRUPT CHANGE IN ELEVATION ALONG ACCESSIBLE ROUTES AT SIDEWALKS AND COVERED WALKWAYS.
- CURB RAMP SLOPE SHALL BE 1:12 MAXIMUM WITH 1:10 FLARED SIDES AND SHALL BE TEXTURED. PAINT WITH A LIGHT REFLECTIVE PAINT. PARALLEL CURB RAMP SLOPE SHALL BE 1:12 MAXIMUM & TEXTURED. PAINT WITH A LIGHT REFLECTIVE PAINT. ALL CURB RAMP SHALL HAVE A LANDING AT TOP & BOTTOM. LANDINGS SHALL HAVE A 1:50 MAXIMUM SLOPE IN ANY DIRECTION.
- STRIPED ACCESS AISLES AND ACCESSIBLE PARKING SHALL HAVE A MAXIMUM CROSS SLOPE IN ALL DIRECTIONS OF 1:50.
- ALL GRADING SHALL BE DONE TO DRAIN WATER AWAY FROM BUILDINGS.
- ALL EXTERIOR ALCOVES SHALL HAVE A 1:50 MAXIMUM SLOPE AND SHALL HAVE NO DROPS AT DOORS NOR AT CONNECTING SIDEWALKS.
- REFER TO CIVIL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ARCHITECT IN CASE OF DISCREPANCIES AND COORDINATING WITH CIVIL ENGINEER PRIOR TO PROCEEDING.
- PROVIDE 2' X 4' CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS.
- ALL EXTERIOR DOORS SHALL HAVE A LEVEL AREA WITH A 1:50 MAXIMUM SLOPE IN ALL DIRECTIONS. THE AREA SHALL BE A MINIMUM OF 5 FT. IN THE DIRECTION OF TRAVEL BY THE WIDTH OF THE SIDEWALK.



1 BOLLARD DETAIL
3/4" = 1'-0"



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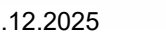
ISSUE FOR BIDS

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AS1.0



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D1	REMOVE EXISTING PORTION OF CHAINLINK FENCE AS NEEDED. FIELD VERIFY DISTANCE.
D2	EXISTING POWER POLES TO REMAIN
D3	EXISTING CMU WALL STRUCTURE TO REMAIN
D4	EXISTING CONCRETE SLAB TO REMAIN
D5	REMOVE EXISTING FENCE STRUCTURE
D6	REMOVE EXISTING ADA PARKING SIGN

— — — — — DENOTES ITEMS TO BE DEMOLISHED

————— DENOTES EXISTING TO REMAIN

1. CONTRACTOR SHALL REVIEW CIVIL AND ARCHITECTURAL PLANS FOR REQUIREMENT/COORDINATION PRIOR TO PERFORMING DEMOLITIONS.
2. FIELD VERIFY ALL EXISTING DIMENSIONS, CONDITIONS, QUANTITIES AND LOCATIONS.
3. PROTECT EXISTING WORK TO REMAIN AS REQUIRED TO PREVENT UNNECESSARY DAMAGE DUE TO DEMOLITION. ALL DAMAGED EXISTING WORK SHALL BE REPAIRED/REPLACED AT NO COST TO THE OWNER.
4. GENERAL CONTRACTOR, OR ANY OF ITS SUBCONTRACTORS WILL NOT TO SHUT OFF ANY UTILITIES OR SERVICES BEFORE CONTACTING OWNER.
5. REMOVE EXISTING ITEM AS INDICATED ON PLANS. CUT AND REMOVE AS REQUIRED TO LEAVE A CLEAN EDGE ON REMAINING WORK.
6. COORDINATE AND SCHEDULE WITH THE OWNER PRIOR TO COMMENCING DEMOLITION WORK.
7. CONTRACTOR MUST FIELD VERIFY ALL UTILITIES PRIOR TO PERFORMING DEMOLITION.



STARR COUNTY

1920 US-83 RIO GRANDE CITY, TX

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DATE
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ASD1.0

CONFLICTS & DISCREPANCIES:

1. THE RELATION OF SPECIFICATIONS AND THE DRAWINGS SHALL BE EQUAL IN AUTHORITY AND PRIORITY. SHOULD THEY DISAGREE IN THEMSELVES, OR WITH EACH OTHER, BIDS SHALL BE BASED ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND QUANTITY OF WORK INDICATED. THE APPROPRIATE WORK, IN THE EVENT OF THE ABOVE MENTIONED DISAGREEMENTS, SHALL BE DETERMINED BY THE ARCHITECT, AT NO ADDITIONAL COSTS TO THE OWNER.
2. ANY OMISSION AND/OR CONFLICT IN THE DRAWINGS AND/OR SPECIFICATIONS, MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITTEN FORMAT BY R.F.I. (REQUEST FOR INFORMATION) PRIOR TO OPENING OF BIDS.
3. FAILURE TO REPORT AN OMISSION/CONFLICT IN THE DRAWINGS AND/OR SPECIFICATIONS, PRIOR TO OPENING OF BIDS SHALL BE DEEMED EVIDENCE THAT THE CONTRACTOR HAS ELECTED TO PROCEED IN THE MORE EXPENSIVE MANNER, AT NO ADDITIONAL COST TO THE OWNER.

INTENT OF DRAWINGS:

1. THE DRAWINGS ARE DIAGRAMMATIC AND SMALL SCALE ONLY. THEY CONVEY THE INTENT OF THE WORK BUT DO NOT SHOW EVERY SINGLE DETAIL OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE, AS THE CONSTRUCTION EXPERT, TO PROVIDE AND INSTALL ALL NECESSARY MATERIALS, COMPONENTS AND SYSTEMS NECESSARY FOR THE TURN KEY CONSTRUCTION AND COMPLETION OF THE PROJECT.

DEMOLITION GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING FOR CLARIFICATION.
2. REFER TO STRUCTURAL & MEP DRAWINGS FOR ADDITIONAL DEMOLITION AND ALTERATION NOTES.
3. THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL DOORS, FRAMES, & BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING. REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS.
4. FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION. THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE. REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERRUPTED OR DISTURBED.
5. STRUCTURAL INTEGRITY: UNLESS OTHERWISE INDICATED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS, NEW OPENINGS CUT INTO EXISTING MASONRY WALLS, WHETHER BEARING OR NON-BEARING, SHALL RECEIVE LOOSE LINTELS WITH 8" BEARING AS A MINIMUM. REFER TO STRUCTURAL DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS.
6. ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED, SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS AND MADE READY TO RECEIVE ANY NEW FINISHES WHERE APPLICABLE.
7. WHERE EXISTING FLOOR, CEILING, OR WALL FINISHES ARE TO BE REPLACED WITH NEW FINISHES, EXISTING SURFACES SHALL BE STRIPPED CLEAN OF ALL EXISTING COVERINGS AND MADE READY TO RECEIVE NEW FINISHES, IN ACCORDANCE WITH FINISH MANUFACTURERS WRITTEN INSTRUCTIONS AND RECOMMENDATIONS INCLUDING LEVEL 4 PLUMB TOLERANCES. REFER TO ROOM FINISH SCHEDULE FOR TYPES & LOCATIONS OF NEW FINISHES.
8. ALL FLOORING BEING REPLACED, SHALL BE COMPLETELY REMOVED & THE FLOOR CLEANED & PROPERLY PREPARED PRIOR TO INSTALLATION OF NEW FINISH MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING ALL FLOORS THAT RECEIVE NEW FINISHES PRIOR TO BID AND CONSTRUCTION. FLOORS SHALL BE PATCHED, FILLED, & STRIPPED AS REQUIRED TO PROVIDE A SMOOTH, DURABLE SURFACE FREE OF ALL BURRS OR ADHESIVE, AND SUITABLE FOR APPLICATION OF NEW FINISH MATERIAL.
9. CONTRACTOR SHALL MAINTAIN BUILDING INTEGRITY, BUILDING SECURITY, AND WEATHER-TIGHT BUILDING ENVELOPE (TO INCLUDE EXTERIOR WALL(S), ROOF, EXTERIOR OPENINGS, ETC.) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE BUILDING ACCESS WITH OWNER.
10. PROVIDE TEMPORARY DUSTPROOF PARTITIONS AS REQUIRED TO PROTECT ALL EXISTING AREAS FROM DAMAGE DUE TO DEMOLITION OR NEW CONSTRUCTION.
11. PATCH AND REPAIR ALL DAMAGED SURFACES TO MATCH EXISTING SURFACES WHERE REMOVED OR ALTERED. FIELD VERIFY EXTENT OF REQUIRED REPAIRS.
12. PROVIDE TEMPORARY BRACING AND SHORING OF EXISTING STRUCTURAL ELEMENTS AS REQUIRED FOR DEMOLITION OR NEW CONSTRUCTION UNTIL STRUCTURAL SYSTEMS AND MODIFICATIONS ARE SECURE AND IN PLACE.
13. PROTECT ALL ITEMS NOT NOTED TO BE REMOVED (FIELD VERIFY ALL CONDITIONS) AND COORDINATE ALL WORK WITH OWNER TO MINIMIZE DISRUPTION TO EXISTING FACILITIES OPERATIONS.
14. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO START OF DEMOLITION. PROTECT ALL UTILITIES TO REMAIN IN SERVICE.

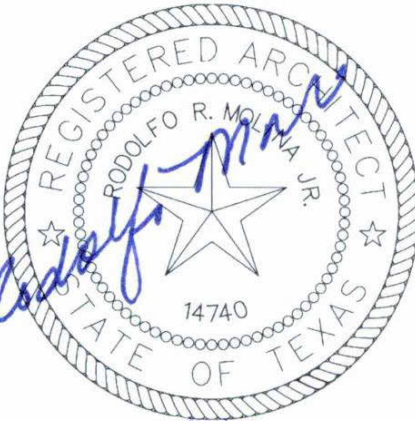
DEMO KEYNOTES

- (D1) EXISTING WALL TO BE REMOVED
- (D2) EXISTING DOOR & FRAME TO BE REMOVED
- (D3) EXISTING WINDOW & FRAME TO BE REMOVED
- (D4) EXISTING FIXTURES TO BE REMOVED
- (D5) EXISTING FLOORING TO BE REMOVED
- (D6) EXISTING CEILING/SOFFIT & LIGHT FIXTURES TO BE REMOVED
- (D7) EXISTING COUNTERTOPS AND MILLWORK TO BE REMOVED
- (D8) EXISTING WOOD PANELS TO BE REMOVED
- (D9) EXISTING PORTION OF EXTERIOR MTL. PANELS TO BE REMOVED



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1920 US-83 RIO GRANDE CITY, TX

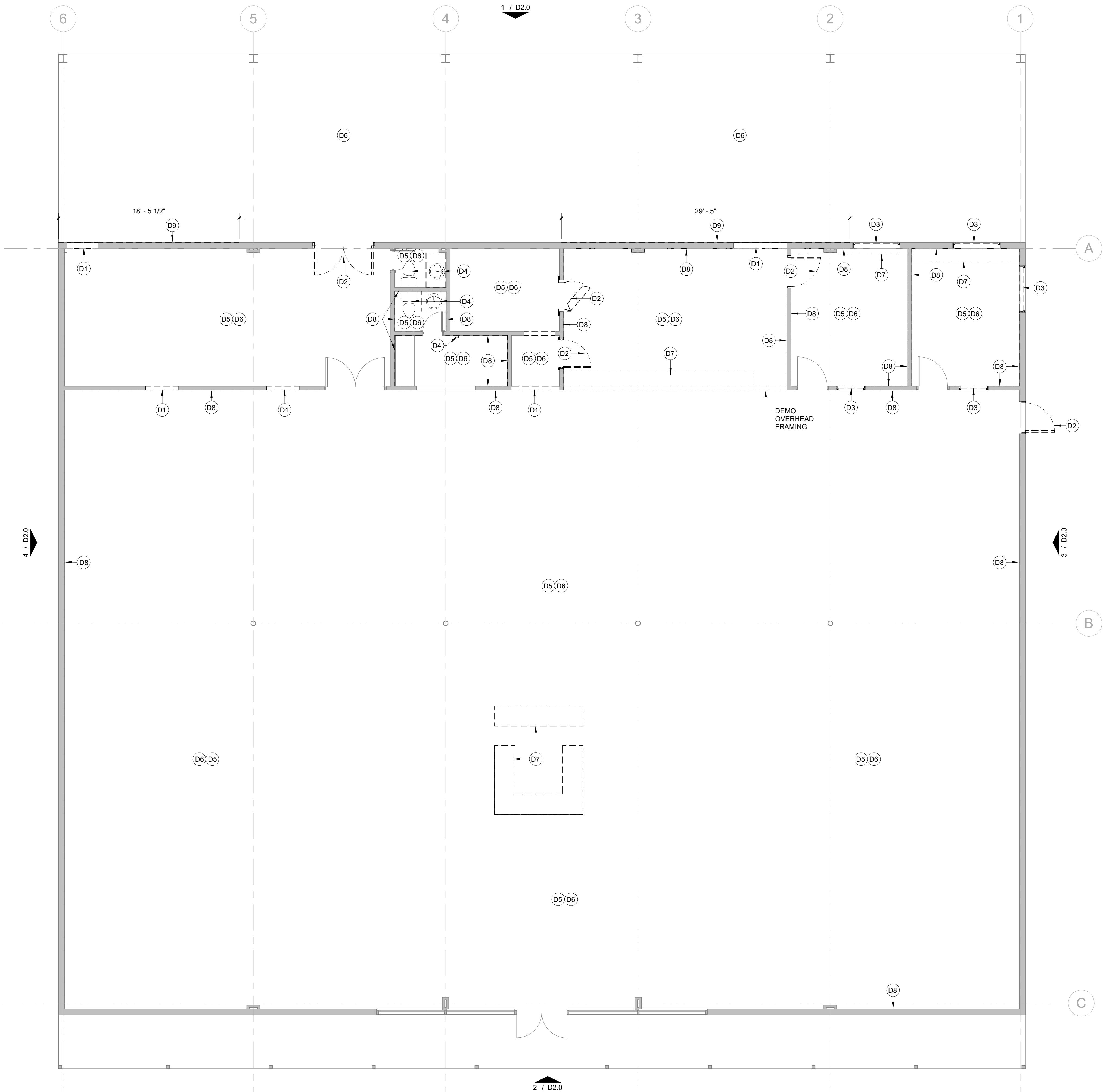
PROJECT NUMBER
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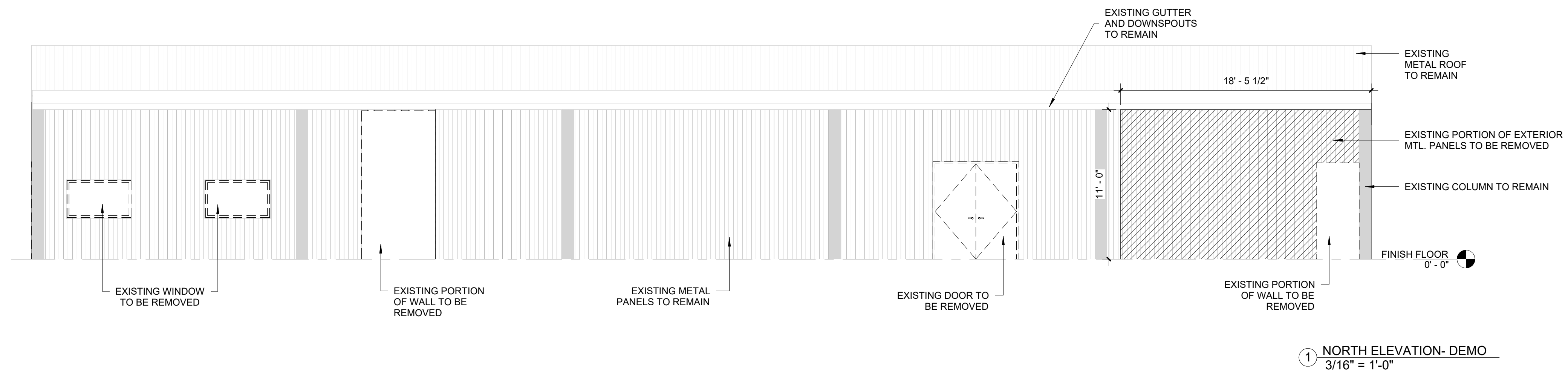
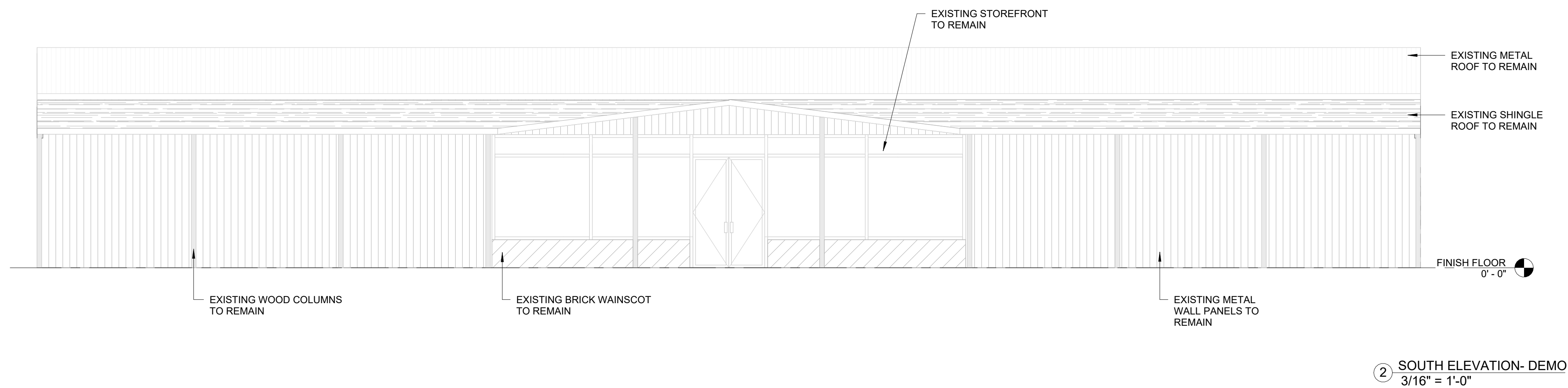
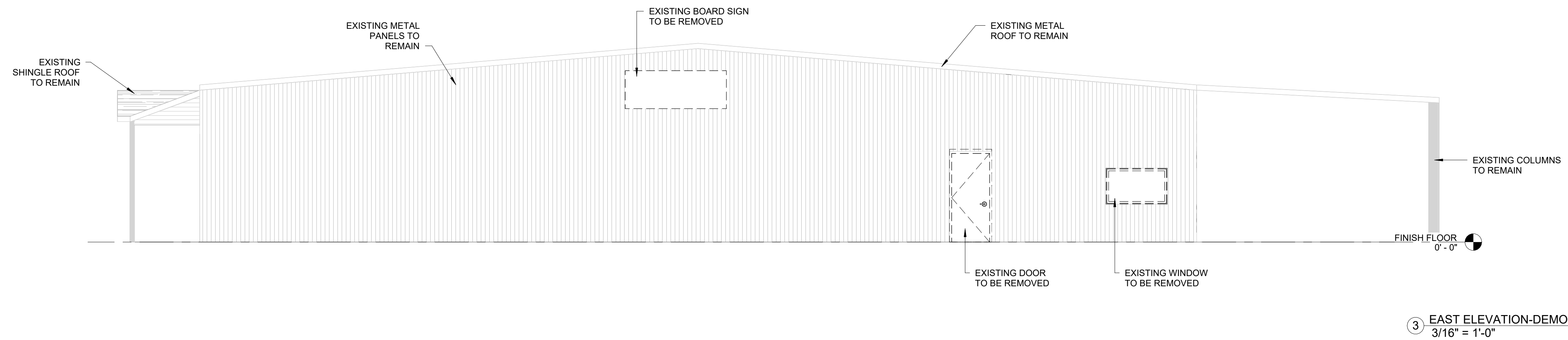
ISSUE FOR BIDS

SHEET NUMBER

D1.0



1 DEMO PLAN
3/16" = 1'-0"



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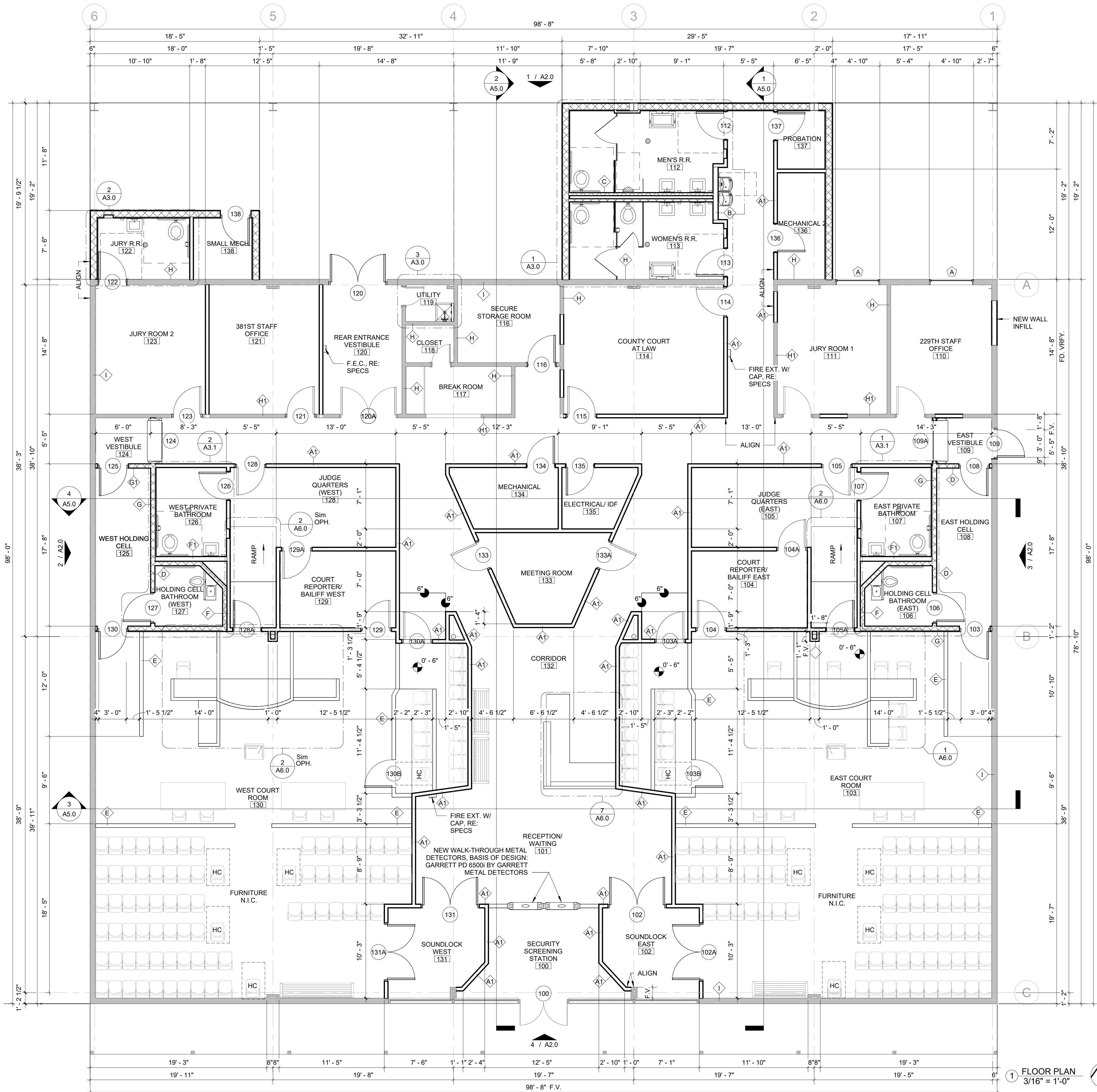
PROJECT NUMBER
224026

DATE
11.12.2025

ISSUE FOR BIDS

SHEET NUMBER

D2.0



GENERAL NOTES:

1. ALL PENETRATIONS IN TOP OR BOTTOM PLATES FOR PLUMBING OR ELECTRICAL RUNS TO BE SEALED. SEE ELECTRICAL PLANS FOR ADDITIONAL SPECIFICATIONS.
2. ALL DIM. TO FINISH FACE OF WALL.
3. BUILDING MUST HAVE A PANEL BOX (LOCATION AS PER CITY CODES).
4. ALL SMOKE DETECTORS ARE TO BE PLACED AS PER CITY CODES.
5. ALL LIGHT FIXTURES TO BE REVIEWED BY OWNER. RE: ELEC.
6. RE: A7.0 FOR DOOR, WINDOW SCH.
7. RE: 1/A7.2 FOR PARTITION TYPES.
8. ROOM NO. → □
9. ALL PARTITIONS TYPE "A" U.N.O.
10. PROVIDE ROOM SIGNAGE, RE: 3/A9.0
11. BULLNOSE EDGE AT ALL C.M.U. CORNERS FOR INTERIOR C.M.U. WALLS.
12. ALL FURNITURE TO BE PROVIDE BY OWNER, NIC.
13. ALL NEW FLOORING SHALL BE FLUSH WITH EXISTING BUILDING FLOOR LEVEL. PROVIDE FLOOR LEVELER AS REQUIRED
14. FRAME AND FURR OUT AT EXISTING METAL COLUMNS AS NEEDED TO CONCEAL, FIELD VERIFY EXISTING CONDITIONS.

BUILDING GROSS AREA

EXISTING BUILDING:	7,777 SQ. FT.
NEW BUILDING:	683 SQ. FT.
TOTAL (BASE BID):	8,460 SQ. FT.



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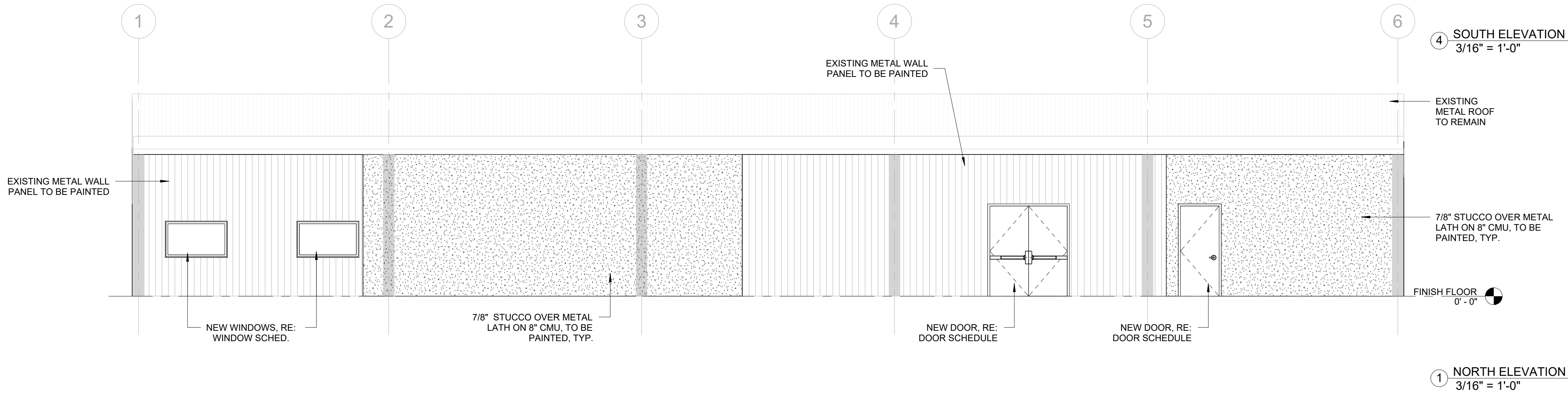
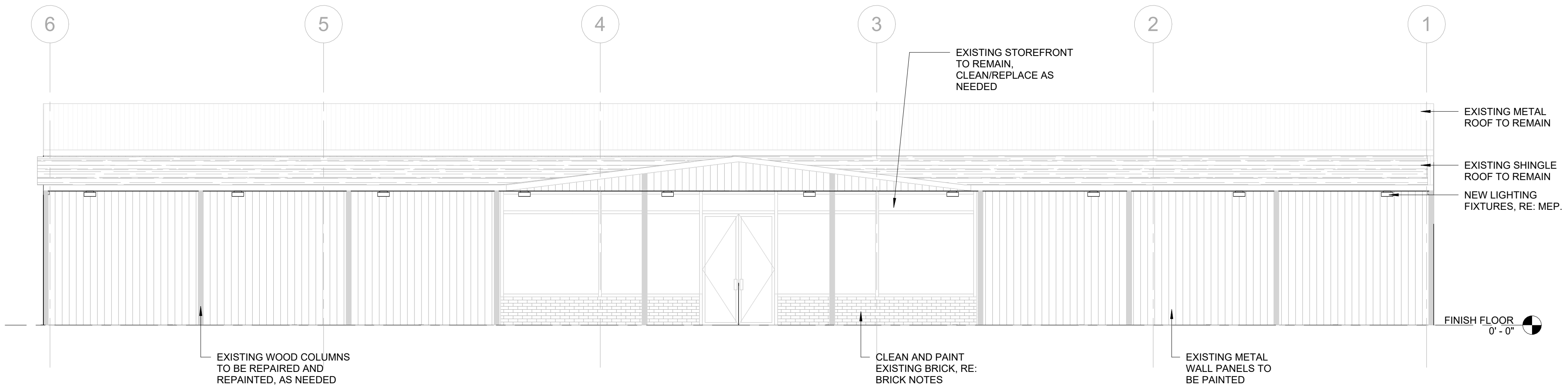
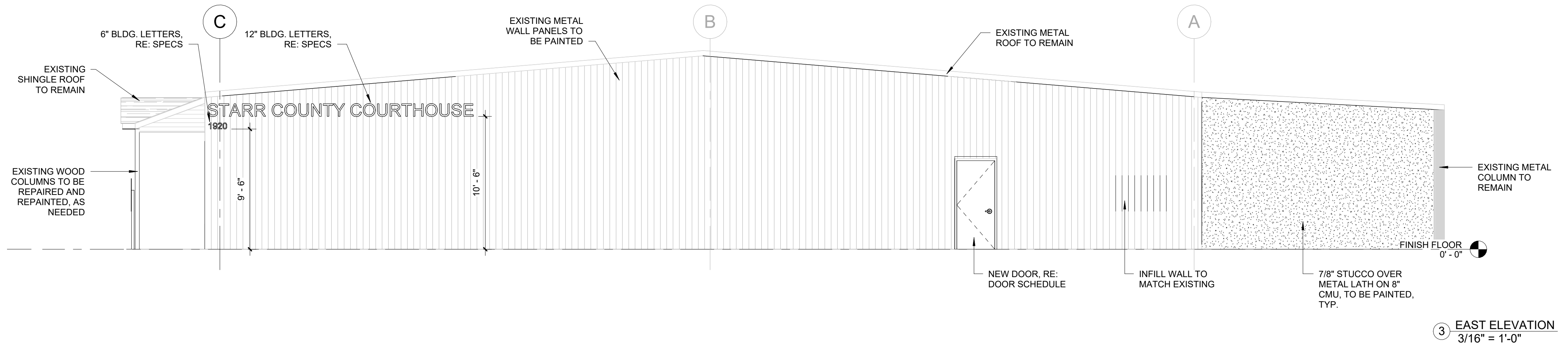
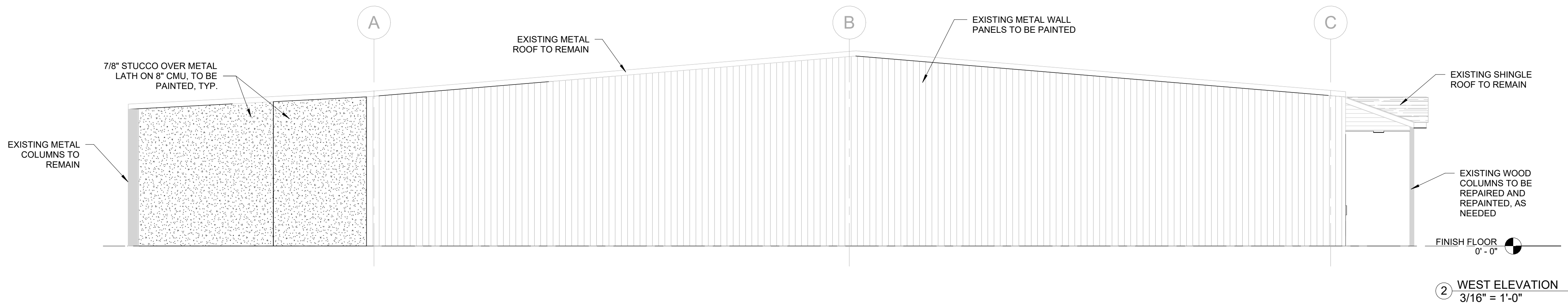
1 FLOOR PLAN
3/16" = 1'-0"

BRICK NOTES:

1. EXISTING BRICK WALL SHALL BE POWER WASHED USING LOW WATER PRESSURE AND MILD BRICK CLEANING SOLUTION (RE: SPECS.) AND NATURAL BRISTLE OR OTHER OR SOFT BRISTLE BRUSHES. AREAS OF REPAIR SHALL BE PERFORMED WITH MATCHING BRICK AND MORTAR.

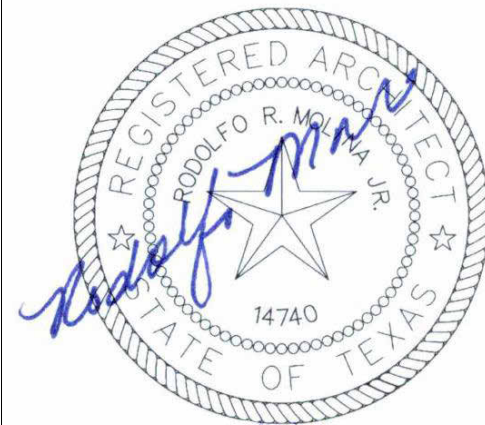
2. BRICK MASONRY WALLS SHALL BE PROPERLY REPOINTED AS NEEDED.

3. AREAS WITH DETERIORATION AND BRICK LOSS SHALL BE RECONSTRUCTED WITH NEW "IN KIND" BRICK AND MORTAR.



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TOILET ACCESSORIES LEGEND

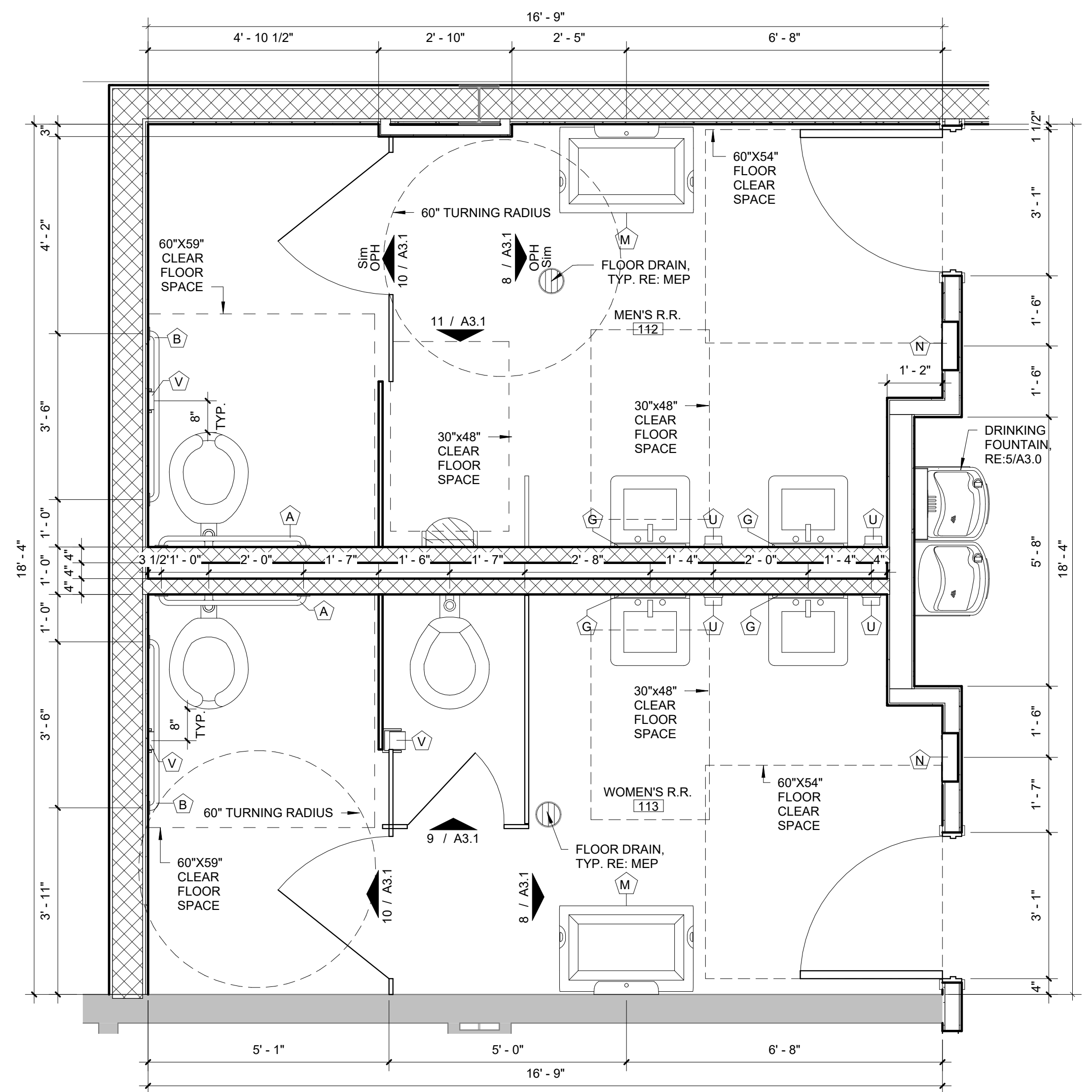
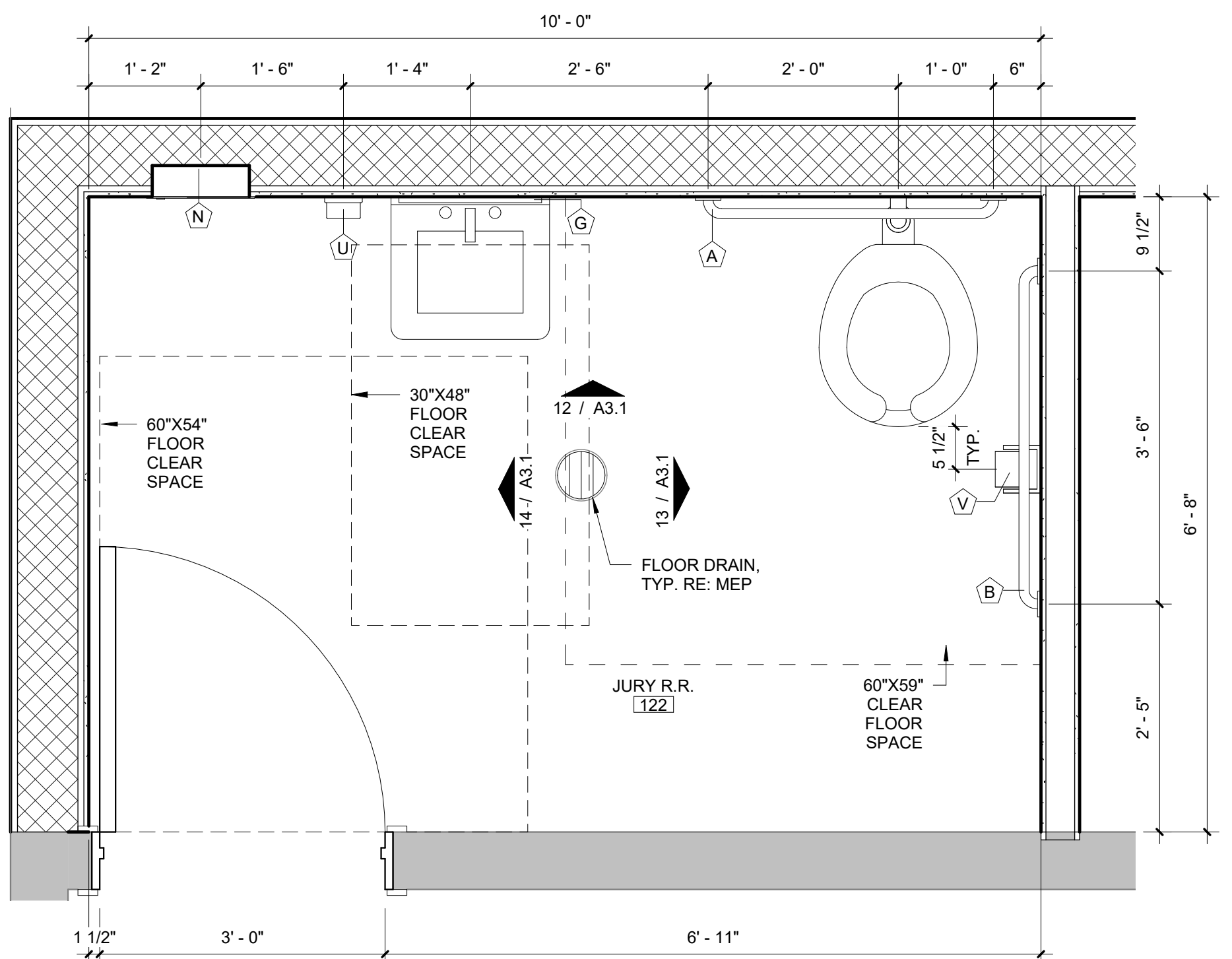
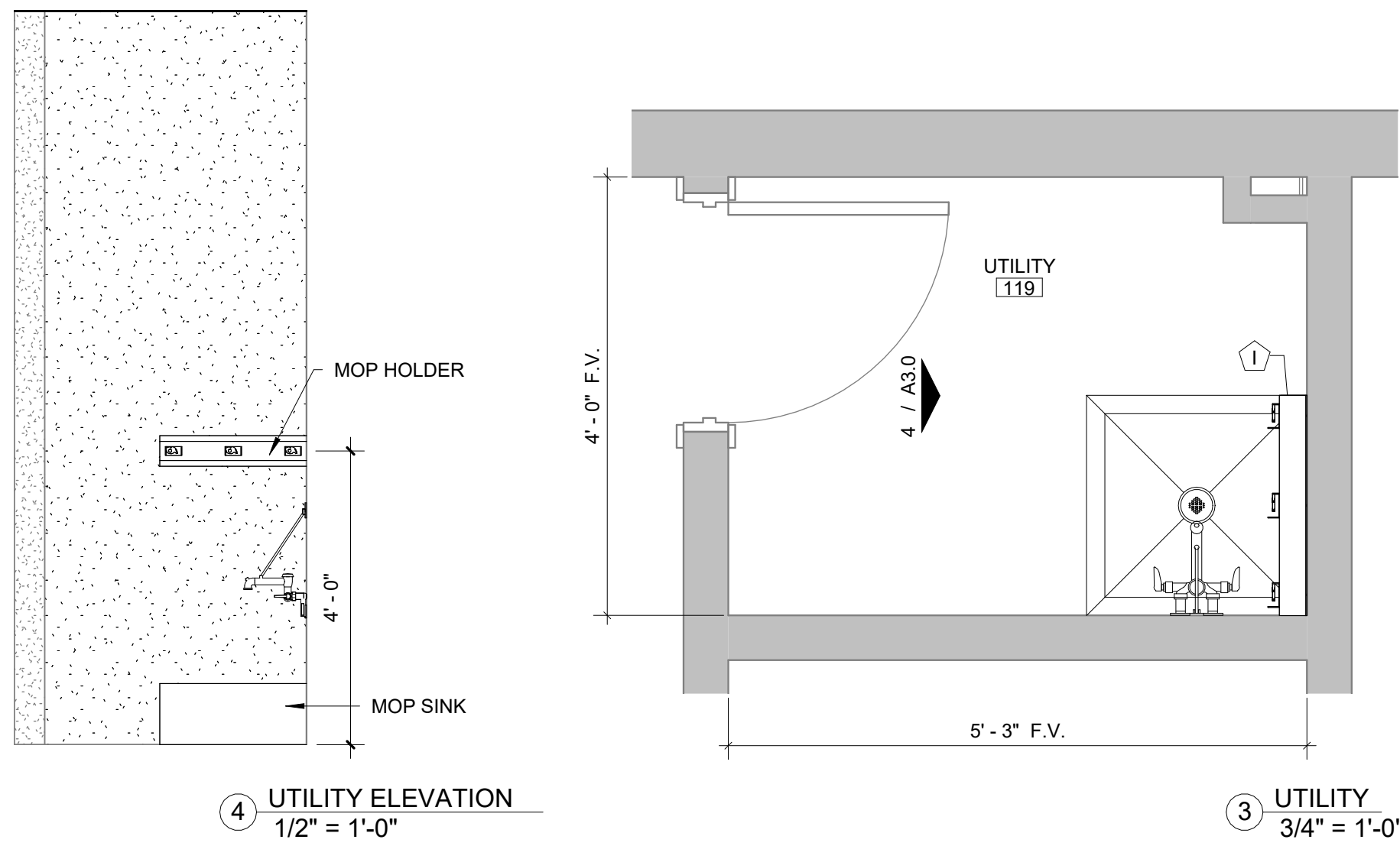
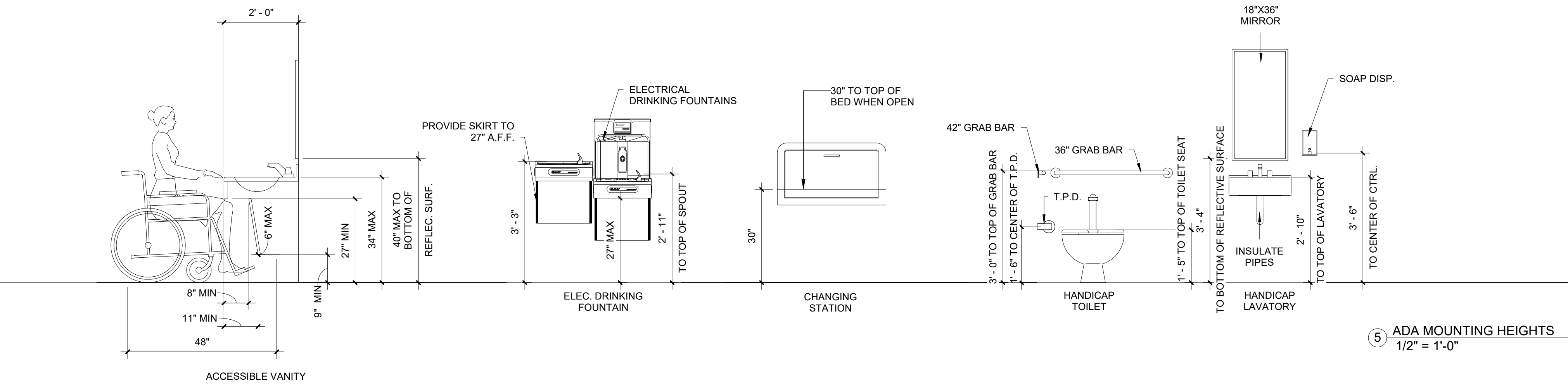
MARK	DESCRIPTION	MODEL NO.	NOTES
A	STAINLESS STL GRAB BAR 36" LONG	B-6806-36	1 & 7
B	STAINLESS STL GRAB BAR 42" LONG	B-6806-42	1 & 7
C	NOT USED		
D	NOT USED		
E	NOT USED		
F	NOT USED		
G	FRAMED 1/4" PLATE GLASS MIRROR 18"x36"	B-290-1836	2 & 7
H	NOT USED		
I	STAINLESS STL MOP & BROOM HOLDER 24" LONG	B-223-24	1 & 7
J	NOT USED		
K	NOT USED		
L	NOT USED		
M	RECESSED BABY CHANGING STATION, AMERICAN SPECIALTIES.	9014	3, 7 & 8
N	RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	B-369	1 & 7
P	NOT USED		1 & 2
Q	NOT USED		
R	NOT USED		
S	NOT USED		6 & 9
T	NOT USED		3, 7 & 8
U	SURFACE MOUNTED AUTO. SOAP DISPENSER	B-2012	1 & 7
V	SURFACE MOUNTED TWO-ROLL TISSUE DISPENSER BOBRICK	B-265	1 & 2

GENERAL NOTES

1. PROVIDE AND INSTALL NEW 8X24 CERAMIC WALL TILE WAINSCOT UP TO 6'-0" AT ALL NEW RESTROOM WALLS. REMAINING WALL HEIGHT SHALL BE TEXTURED AND PAINTED GYP. BOARD.
2. PROVIDE AND INSTALL A MOP HOLDER AT ROOM NO. 114 RE: SPECS.
3. TOILET TISSUE DISPENSER SHALL BE MOUNTED CENTERLINE 8" FROM EDGE OF TOILET RIM.
4. PROVIDE AND INSTALL A 6'-0" HIGH CERAMIC TILE WAINSCOT BEHIND MOP SINK AT ROOM NO. 114.
5. PROVIDE AND INSTALL SOLID PHENOLIC DOORS (SELF-CLOSING) AT EVERY TOILET STALL, TYP.
6. WALL TILE: REFERENCE 1/A7.3 FOR TYPICAL WALL TILE ACCENT ELEVATION DETAIL.
7. FLOOR TILE: PROVIDE AND INSTALL A BORDER COLOR WITH THREE (3) ACCENTS AND A FIELD COLOR AT EACH RESTROOM. RE: 2/A3.2 FOR FLOOR TILE LAYOUT.
8. PROVIDE AND INSTALL A FLOOR DRAIN (F.D.) AT EVERY RESTROOM, TYP.
9. ALL MOUNTING HEIGHTS FOR FIXTURES AND ACCESSORIES SHALL COMPLY WITH THE 2010 ADA AND 2012 TEXAS ACCESSIBILITY STANDARDS. COMPLIANCE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

TOILET ACCESSORIES NOTES

1. PROVIDE ALL NECESSARY ANCHORING PLATES AND FASTENERS.
2. PROVIDE EXPANSION SHIELDS FOR CMU PTN FOR SECURE ATTACHMENT.
3. COORDINATE WITH WALL PTN CONSTRUCTION FOR RECESSED ACCESSORY.
4. COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS.
5. COORDINATE ELECTRICAL REQUIREMENTS AND ANCHORING.
6. COORDINATE LOCATION WITH OTHER ACCESSORIES ON WALL.
7. UNIT SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. SEE SPEC SECTION 10 21 13
 - RECESSED PTD
 - MIRRORS
 - TOILET TISSUE DISP.
 - GRAB BARS
 - SOAP DISP.
8. ALL MOUNTING HEIGHTS FOR FIXTURES AND ACCESSORIES SHALL COMPLY WITH THE 2010 ADA AND 2012 TEXAS ACCESSIBILITY STANDARDS.



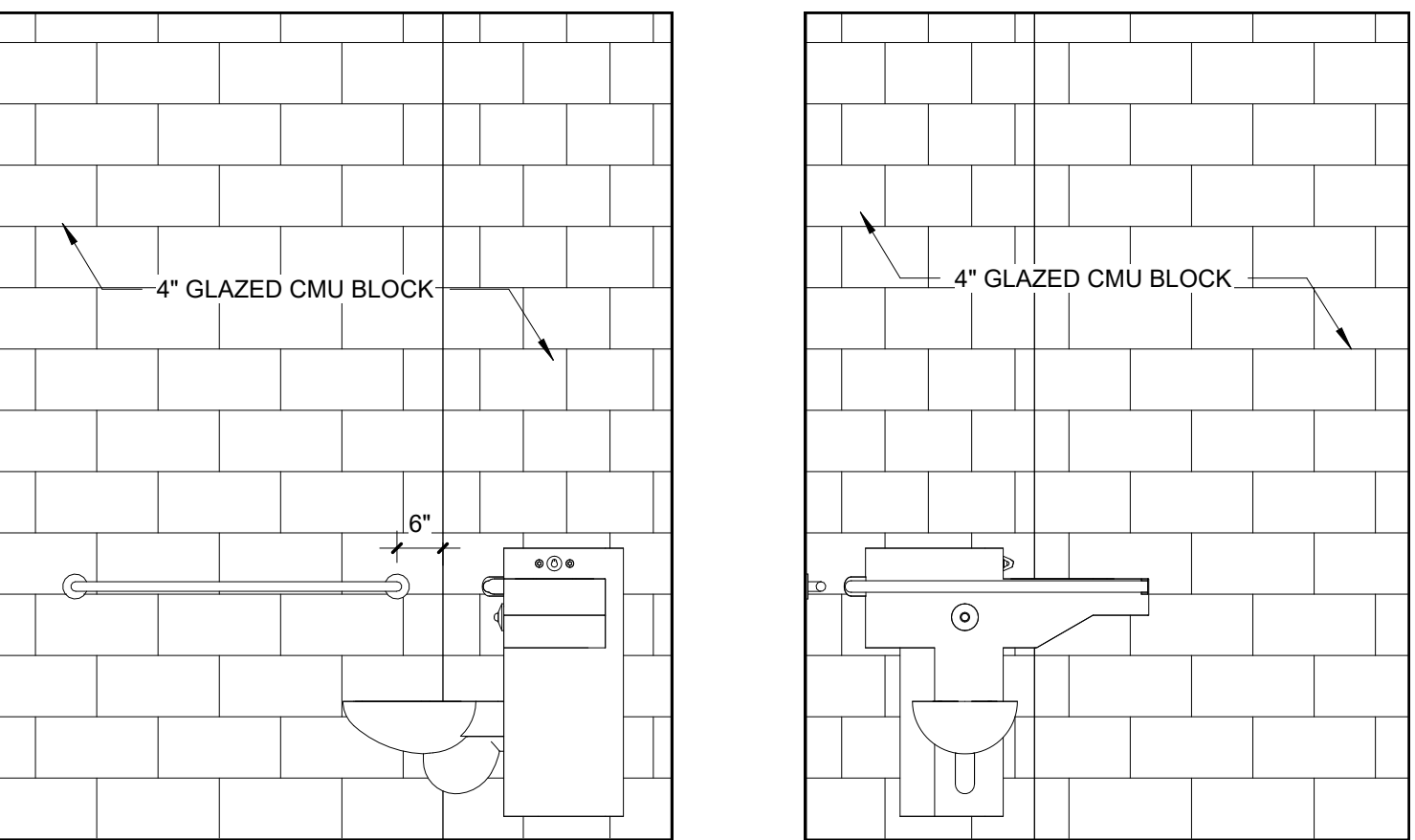
STARR COUNTY COURTHOUSE TEMPORARY
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1920 US-83 RIO GRANDE CITY, TX

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DATE
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SHEET NUMBER
A3.0

GENERAL NOTE:

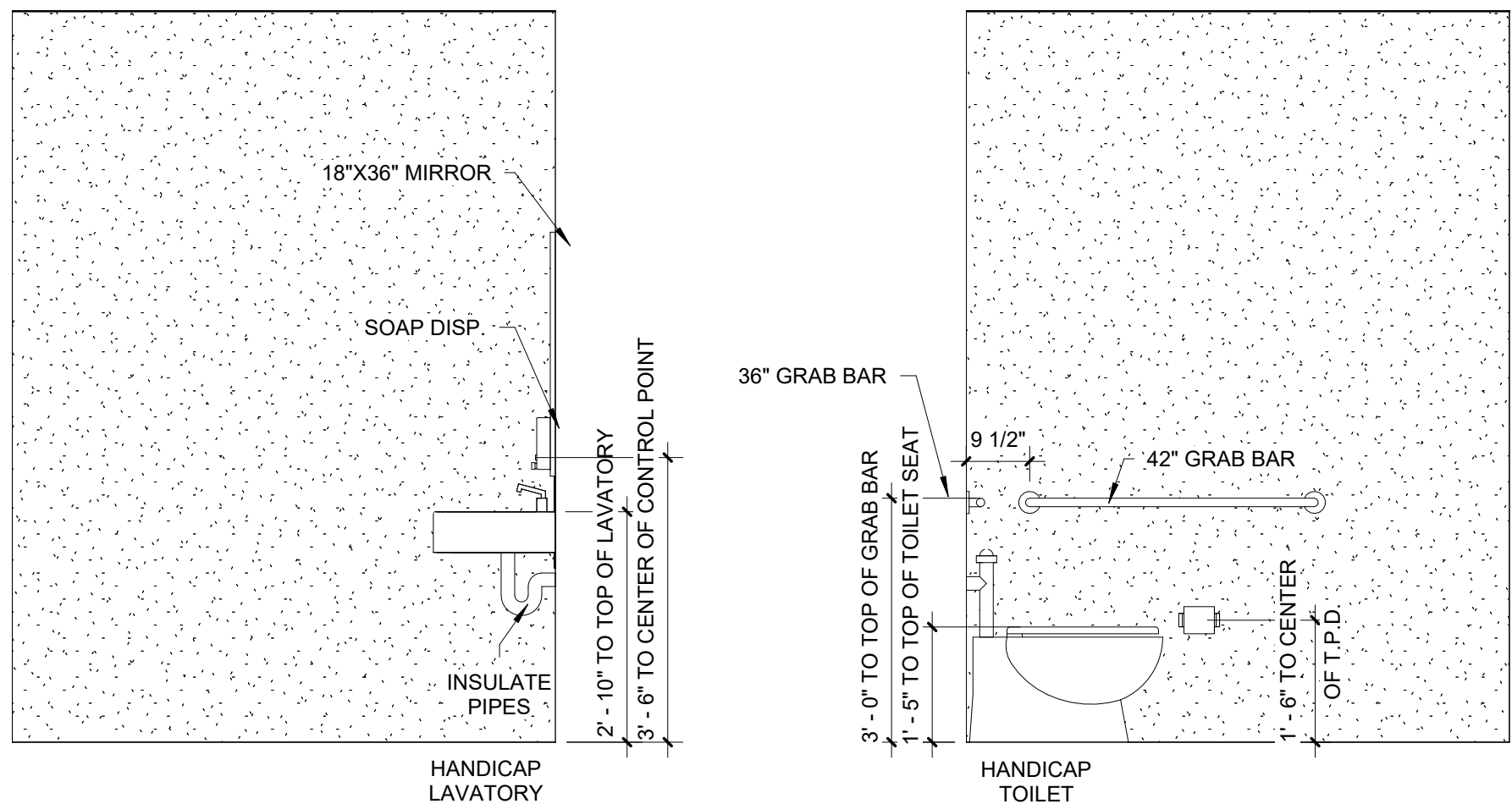
1. REFERENCE A3.0 FOR TOILET ACCESSORIES
LEGEND & STANDARD MOUNTING HEIGHTS
2. REFERENCE 2/A7.1 FOR WALL LAYOUT



7 RESTROOM ELEVATION
1/2" = 1'-0"

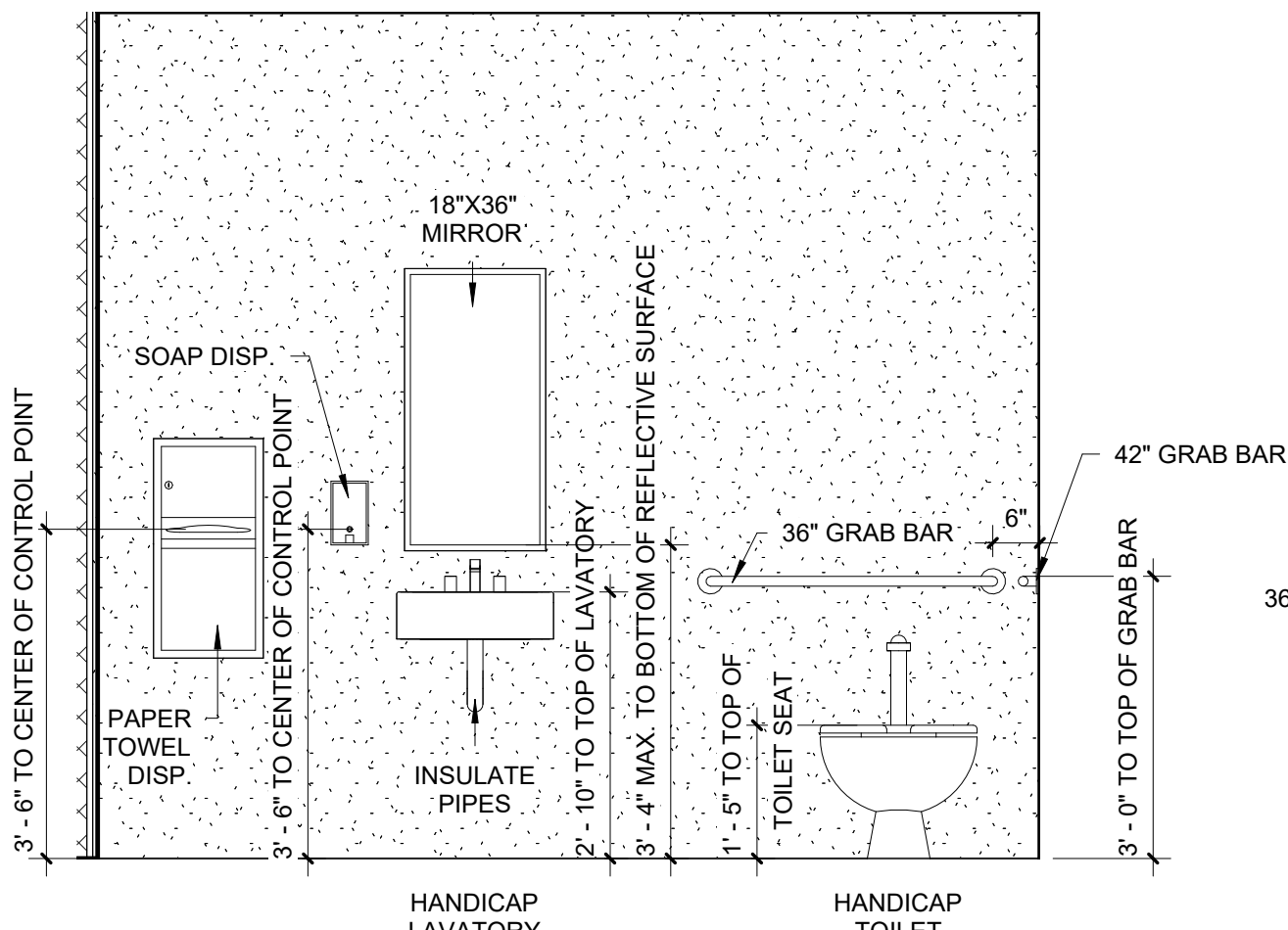
6 RESTROOM ELEVATION
1/2" = 1'-0"

5 RESTROOM ELEVATION
1/2" = 1'-0"

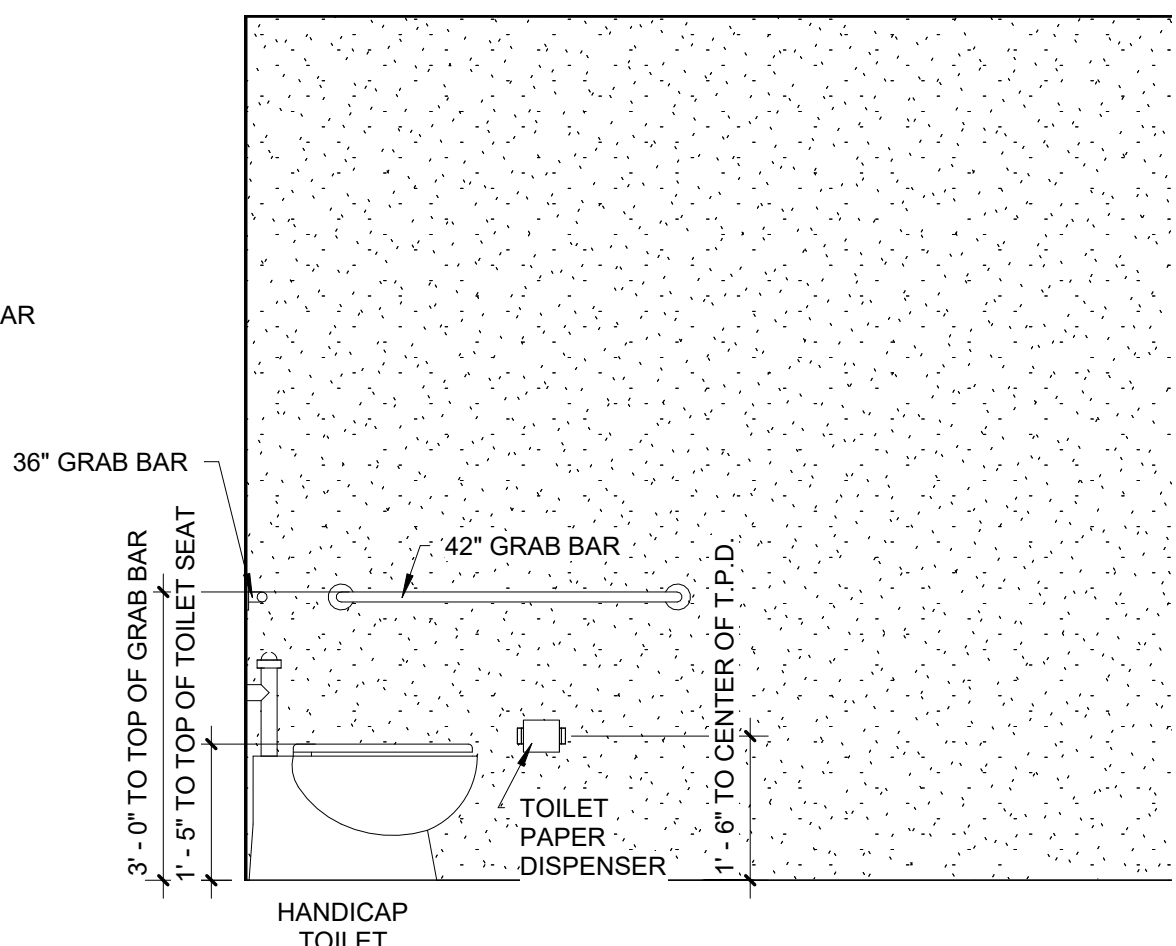


14 RESTROOM ELEVATION
1/2" = 1'-0"

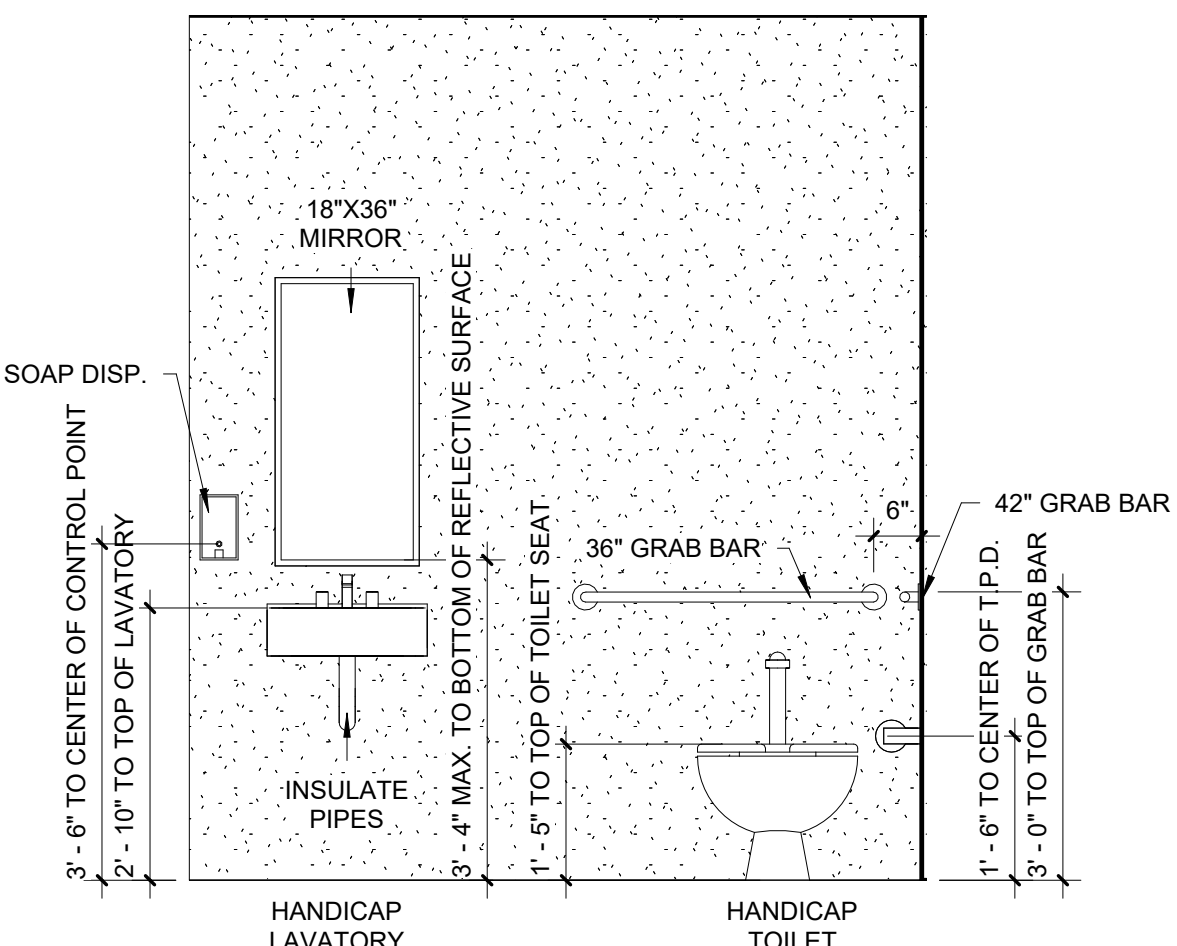
13 RESTROOM ELEVATION
1/2" = 1'-0"



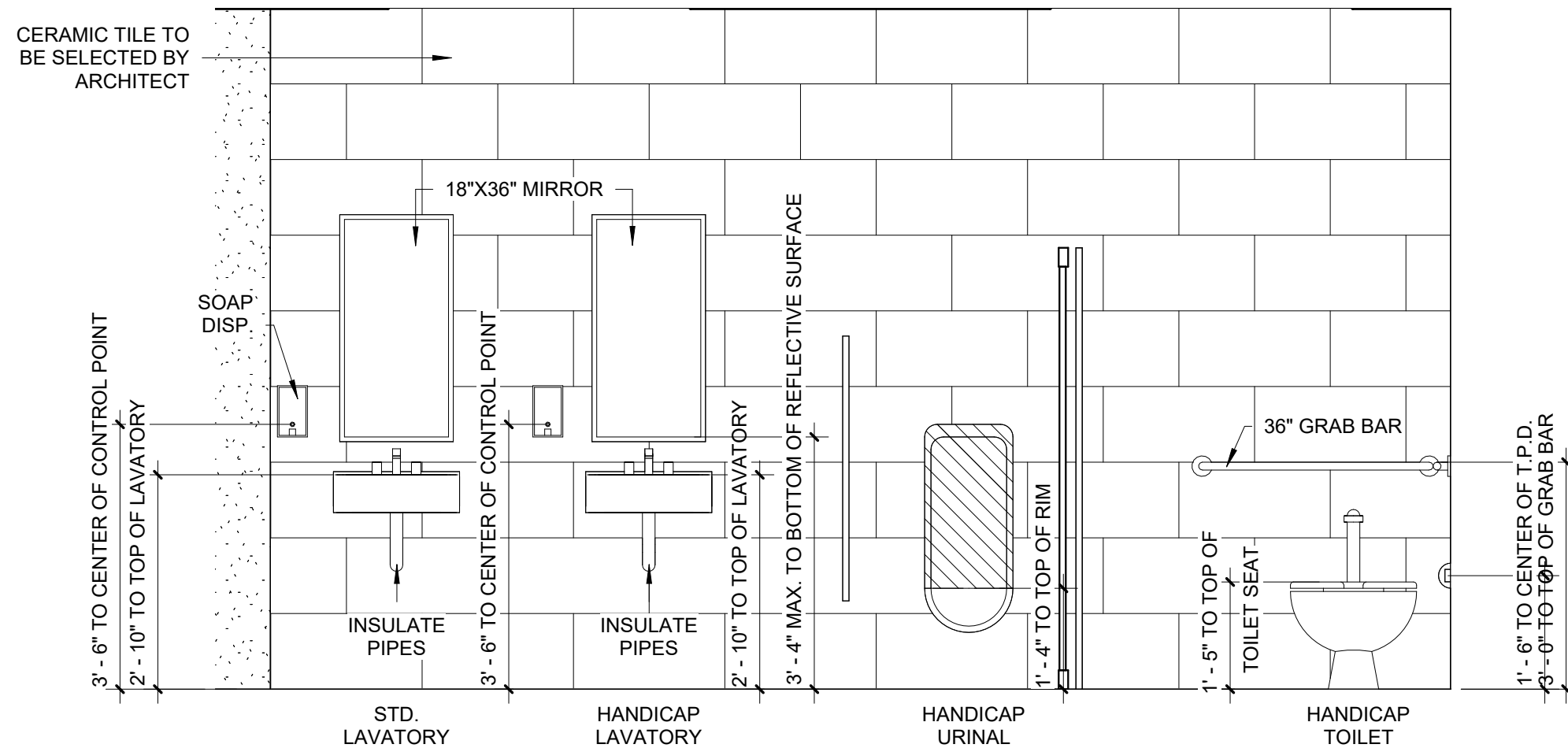
12 RESTROOM ELEVATION
1/2" = 1'-0"



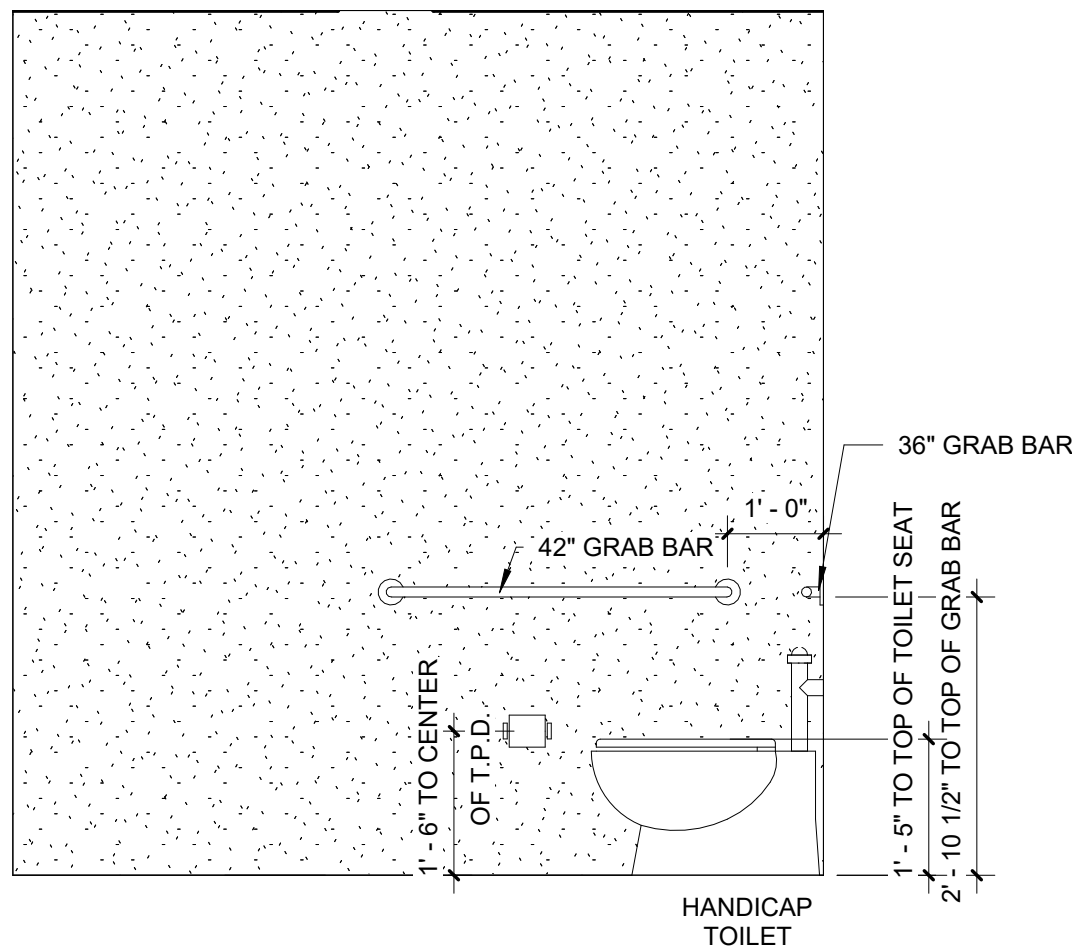
4 RESTROOM ELEVATION
1/2" = 1'-0"



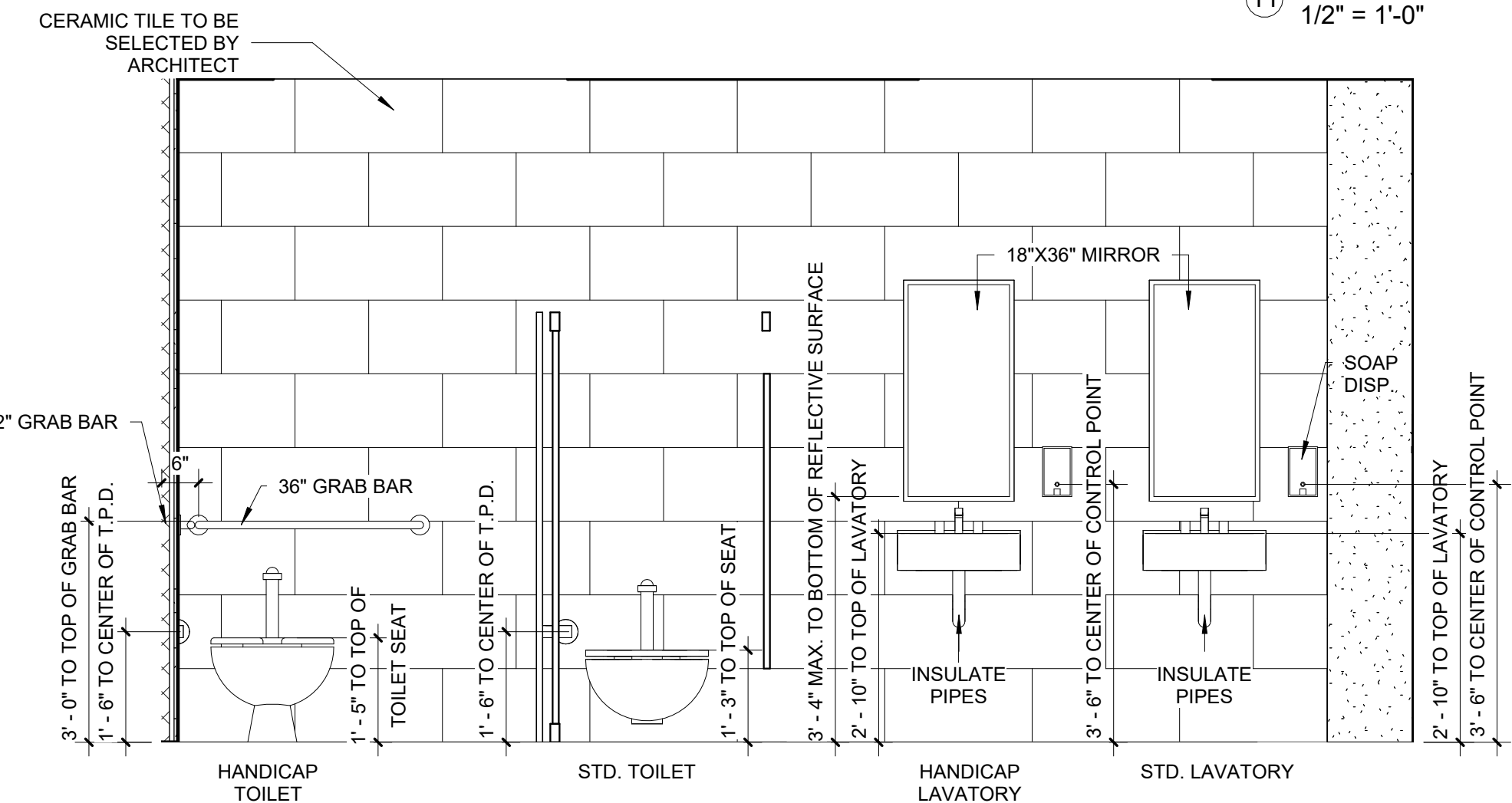
3 RESTROOM ELEVATION
1/2" = 1'-0"



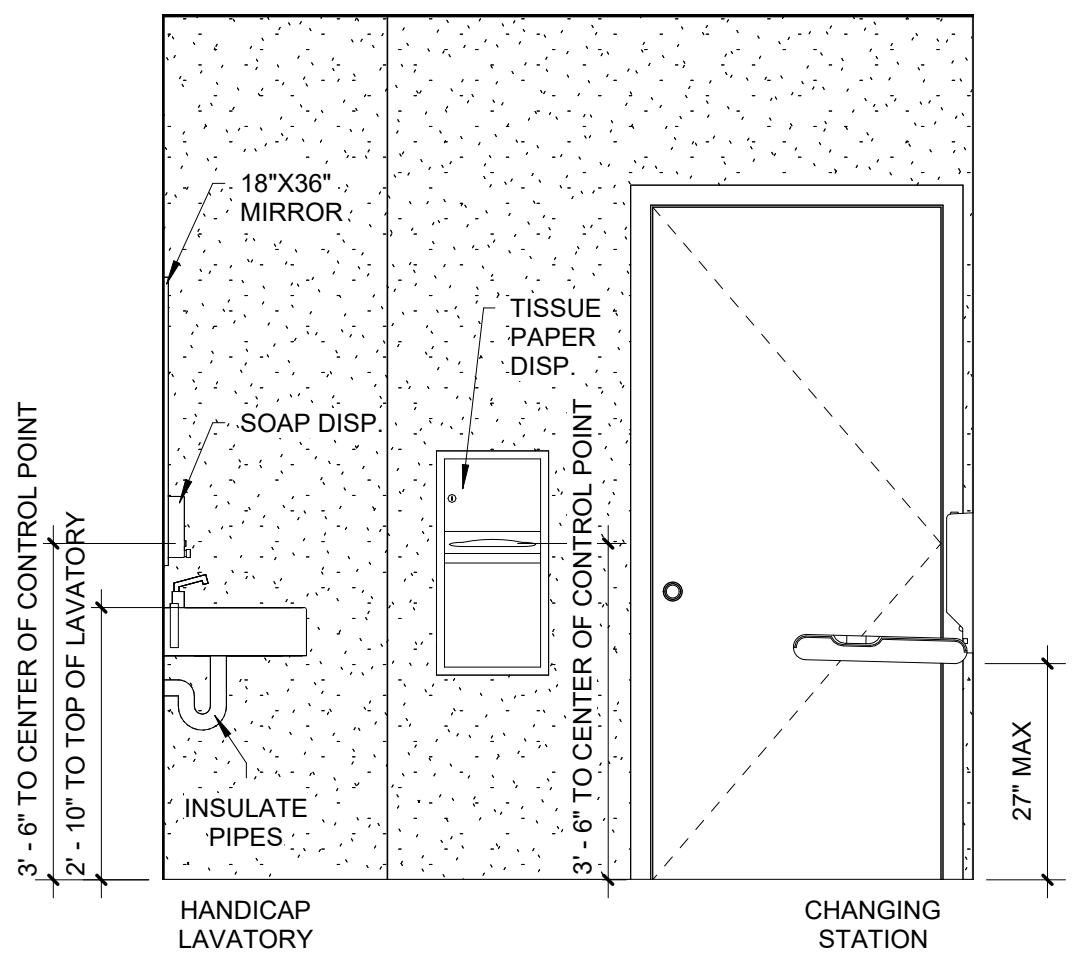
11 RESTROOM ELEVATION
1/2" = 1'-0"



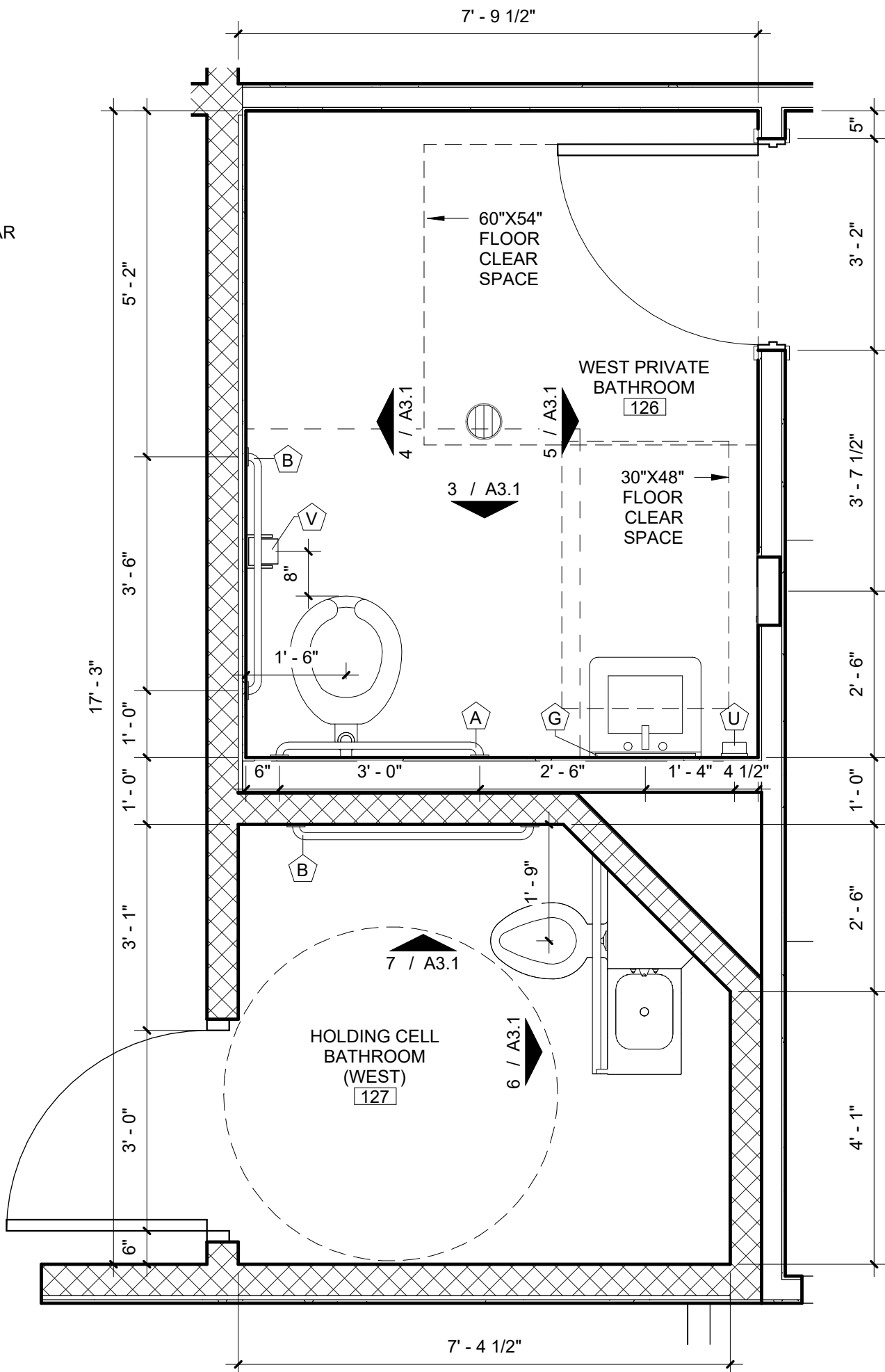
10 RESTROOM ELEVATION
1/2" = 1'-0"



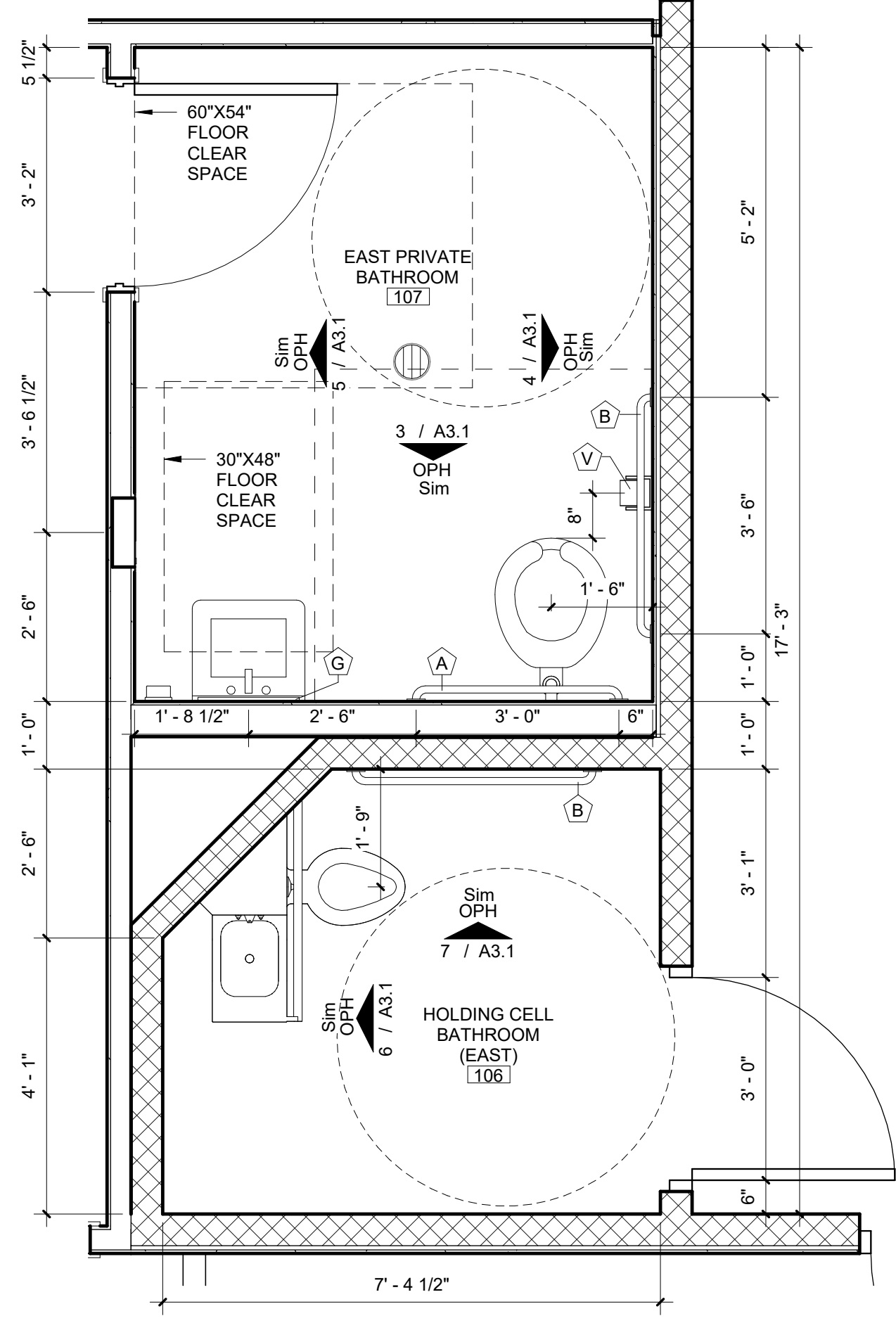
9 RESTROOM ELEVATION
1/2" = 1'-0"



8 RESTROOM ELEVATION
1/2" = 1'-0"



2 ENLARGED RESTROOM PLAN
1/2" = 1'-0"

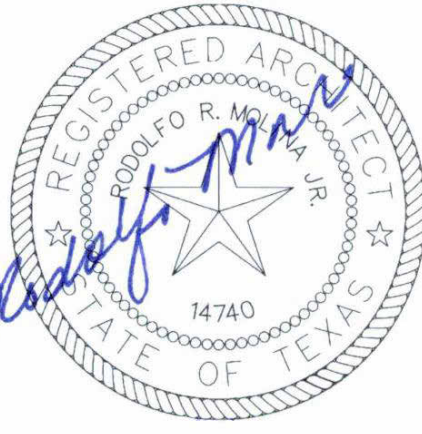


1 ENLARGED RESTROOM PLAN
1/2" = 1'-0"



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A4.0

GENERAL NOTES:

- ALL OUTLETS SHALL BE @ 15" A.F.F. UNLESS NOTED OTHERWISE. ALSO, OUTLETS SHALL BE PLACED 12'-0" MAX. DISTANCE ALONG INSIDE WALLS.
- GROUND FAULT INTERRUPTERS (GFI) ARE REQ'D ON CONVENIENCE OUTLETS IN RESTROOMS & KITCHEN.
- WEATHER PROOF (W.P.) CONVENIENCE OUTLETS ARE REQUIRED OUTSIDE.
- ALL CLG. ARE 10'-0" A.F.F. UNLESS NOTED OTHERWISE.
- LIGHT SWITCH @ H.C. RESTROOMS @ 45" O.C.
- RE: MEP DWGS. FOR ADDITIONAL INFO.

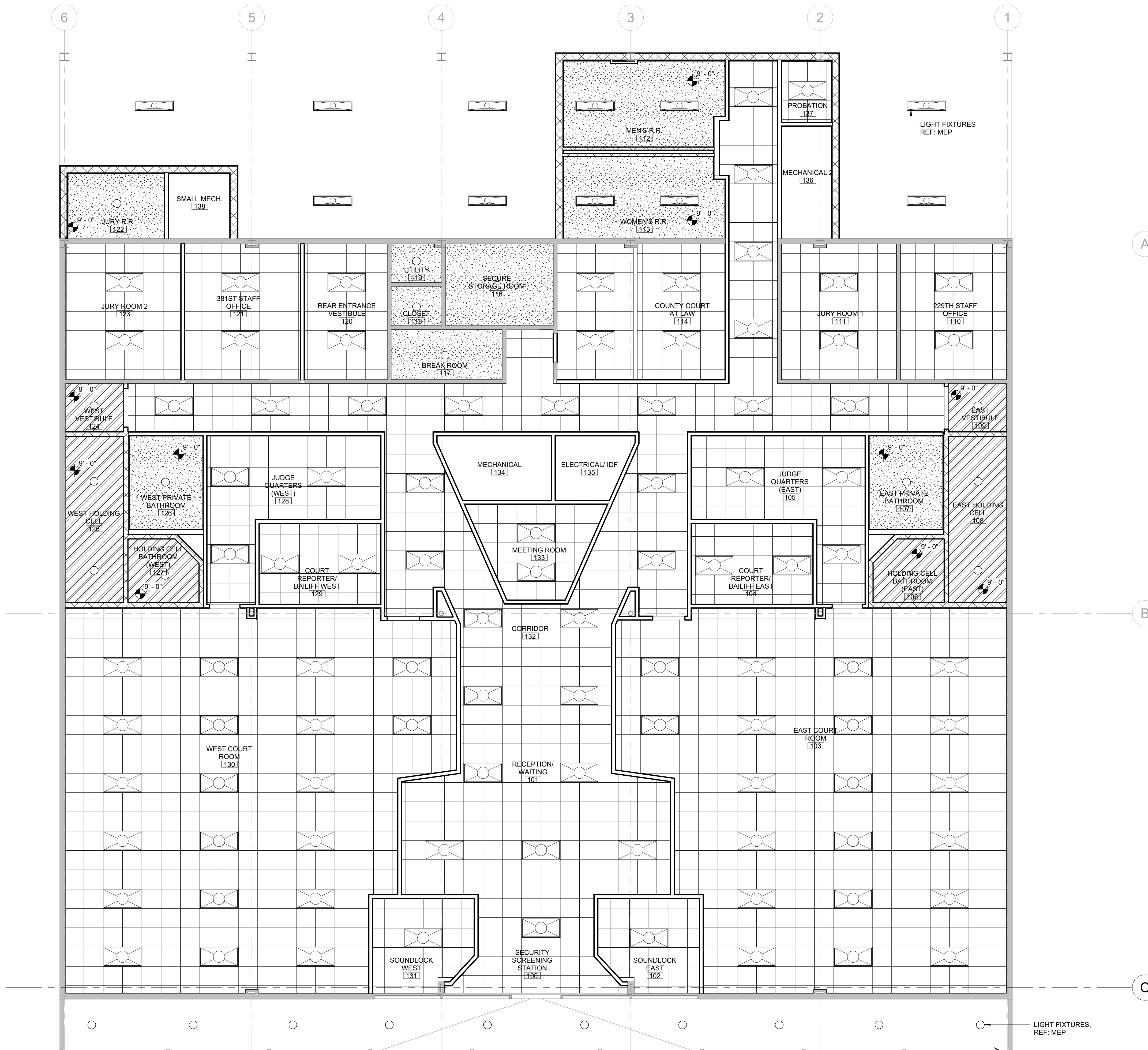
LEGEND

- | | |
|--|-----------------------|
| | 2x2 SUSPENDED CEILING |
| | PAINTED GYPSUM BOARD |
| | OPEN STRUCTURE |
| | PLYWOOD CEILING |

LIGHT FIXTURES,
REF: MEP

EXISTING CEILING
TO BE PAINTED, F.V.

1 REFLECTED CEILING PLAN
3/16" = 1'-0"





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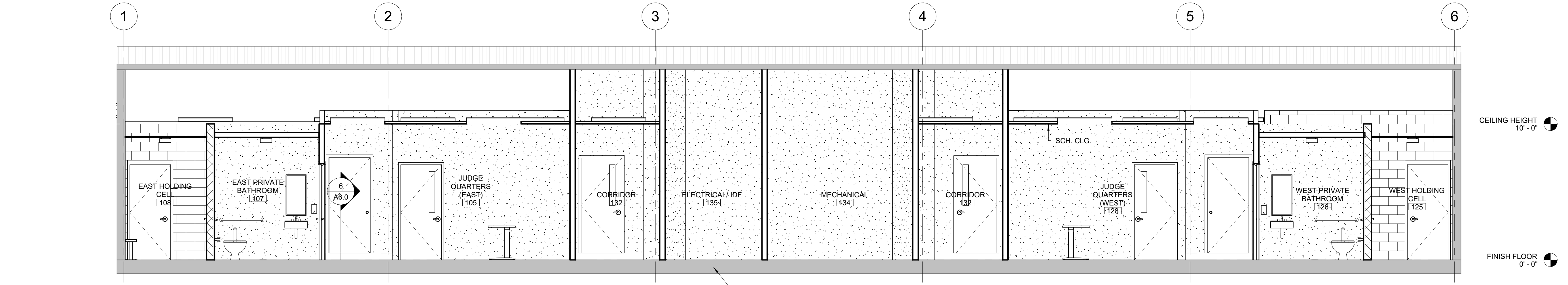
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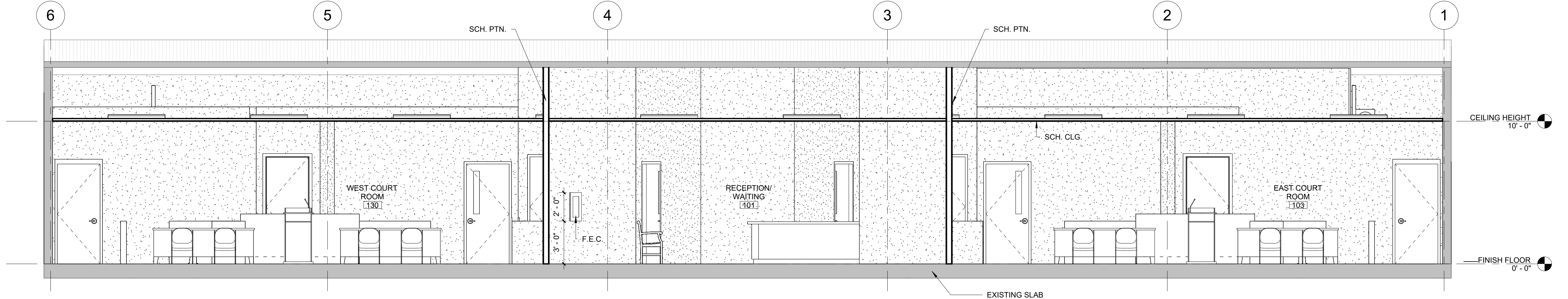
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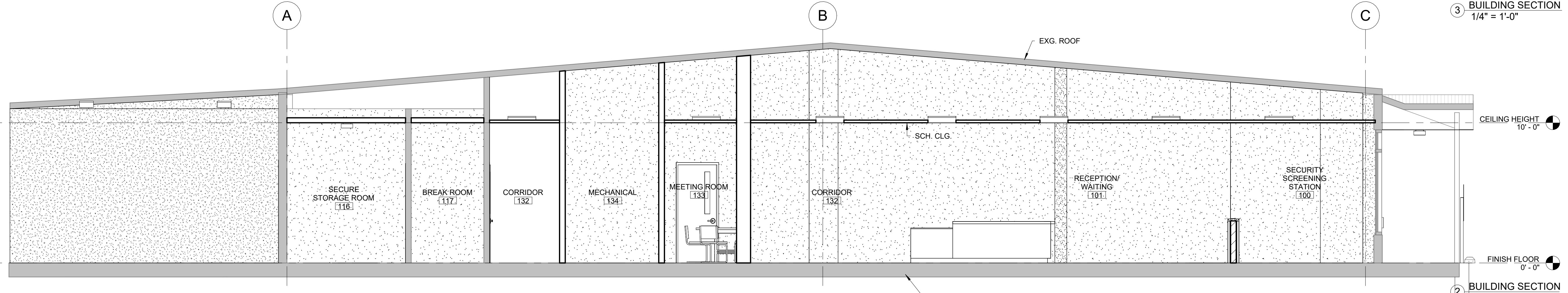
A5.0



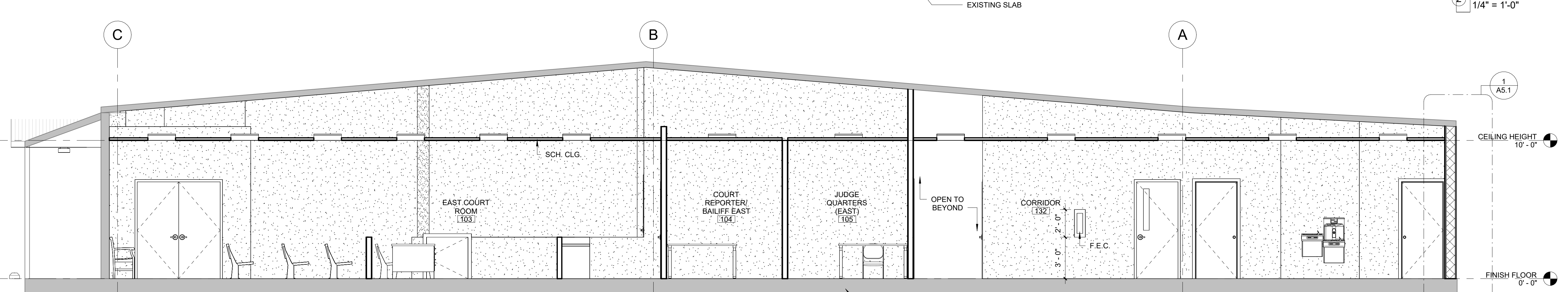
4 BUILDING SECTION
1/4" = 1'-0"



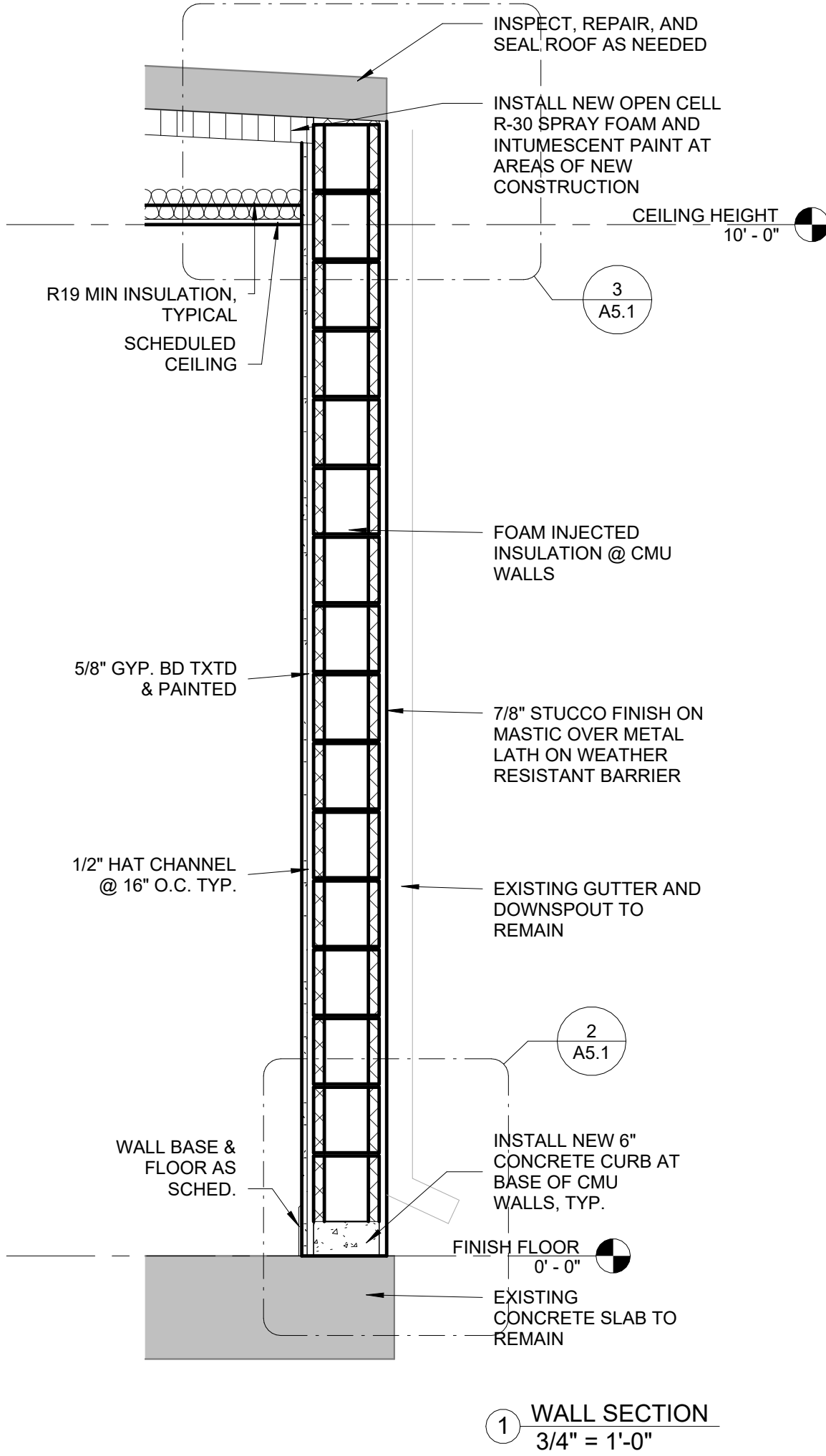
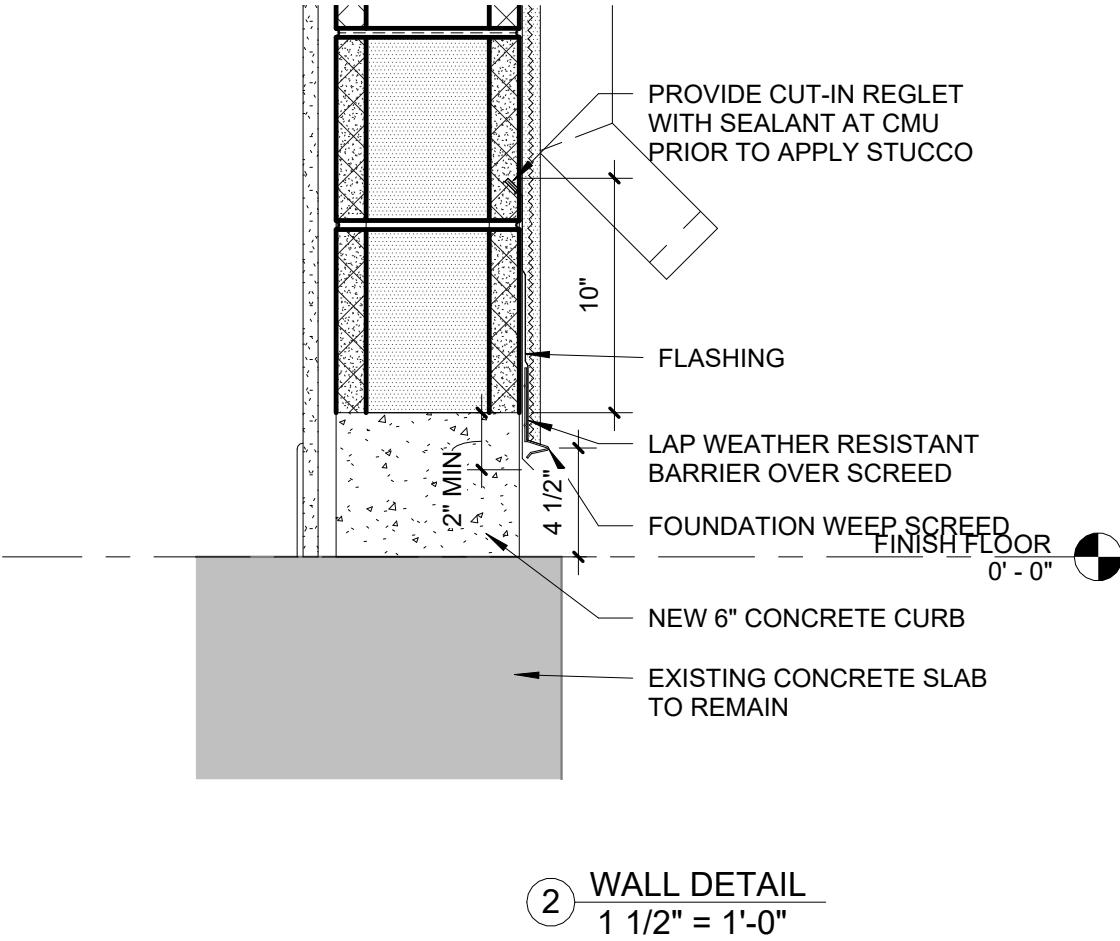
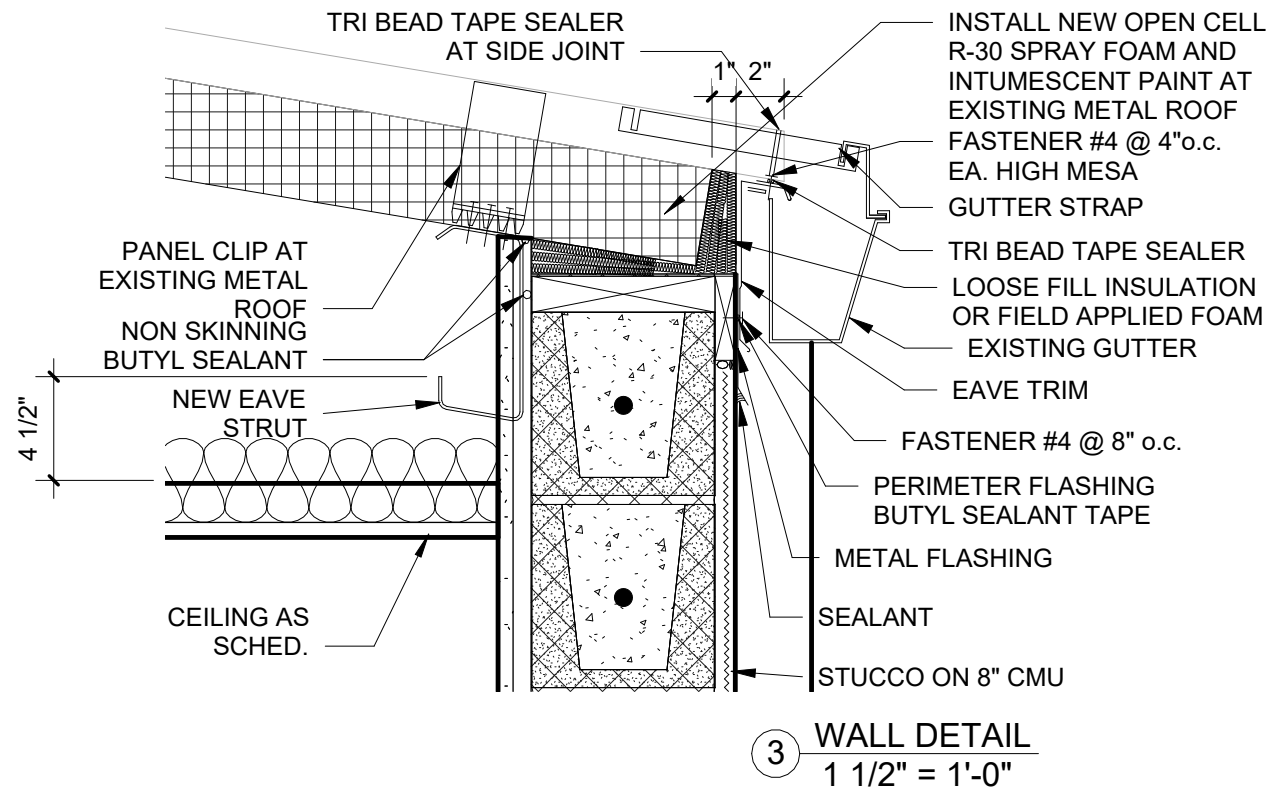
3 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"



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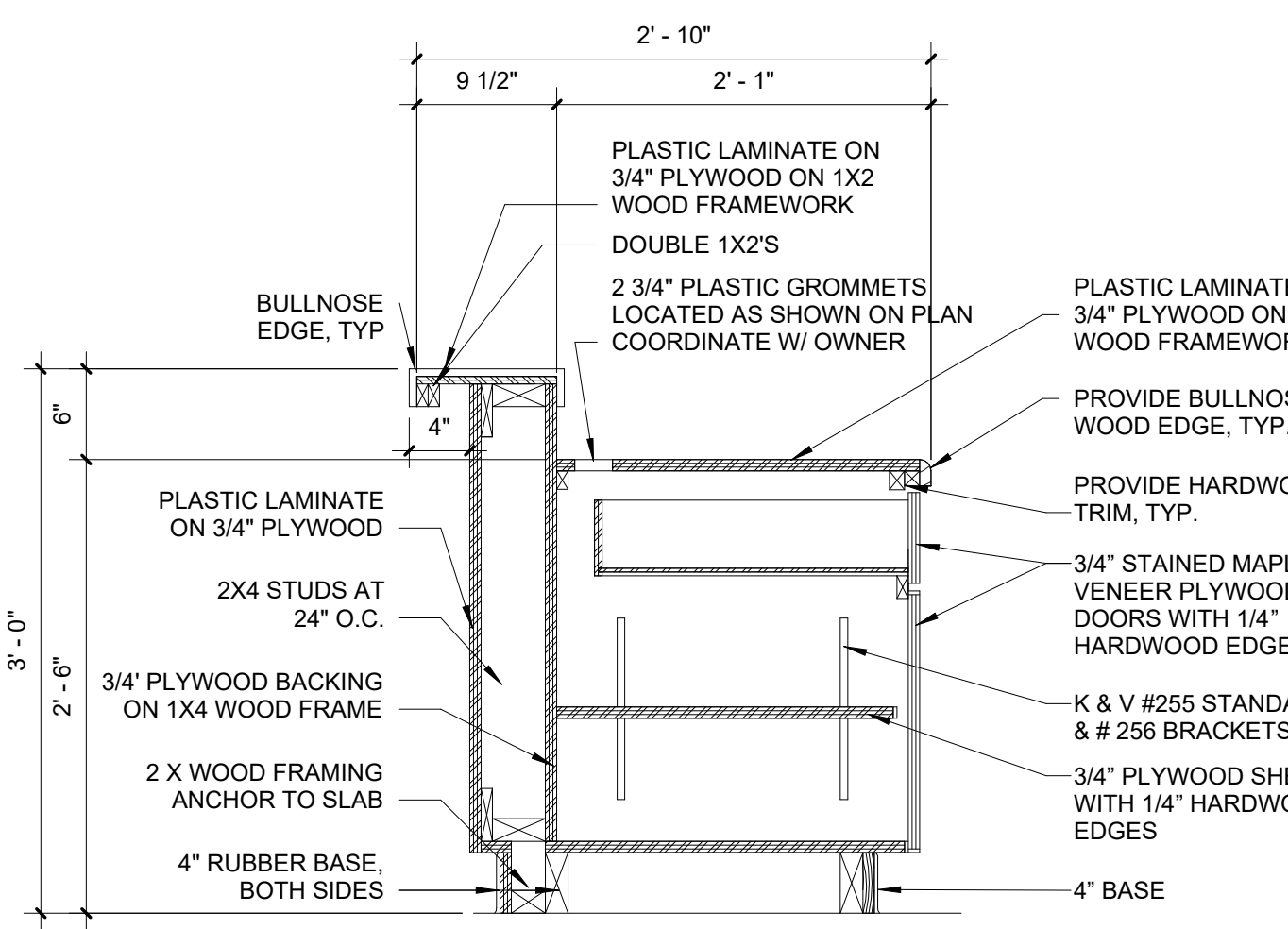
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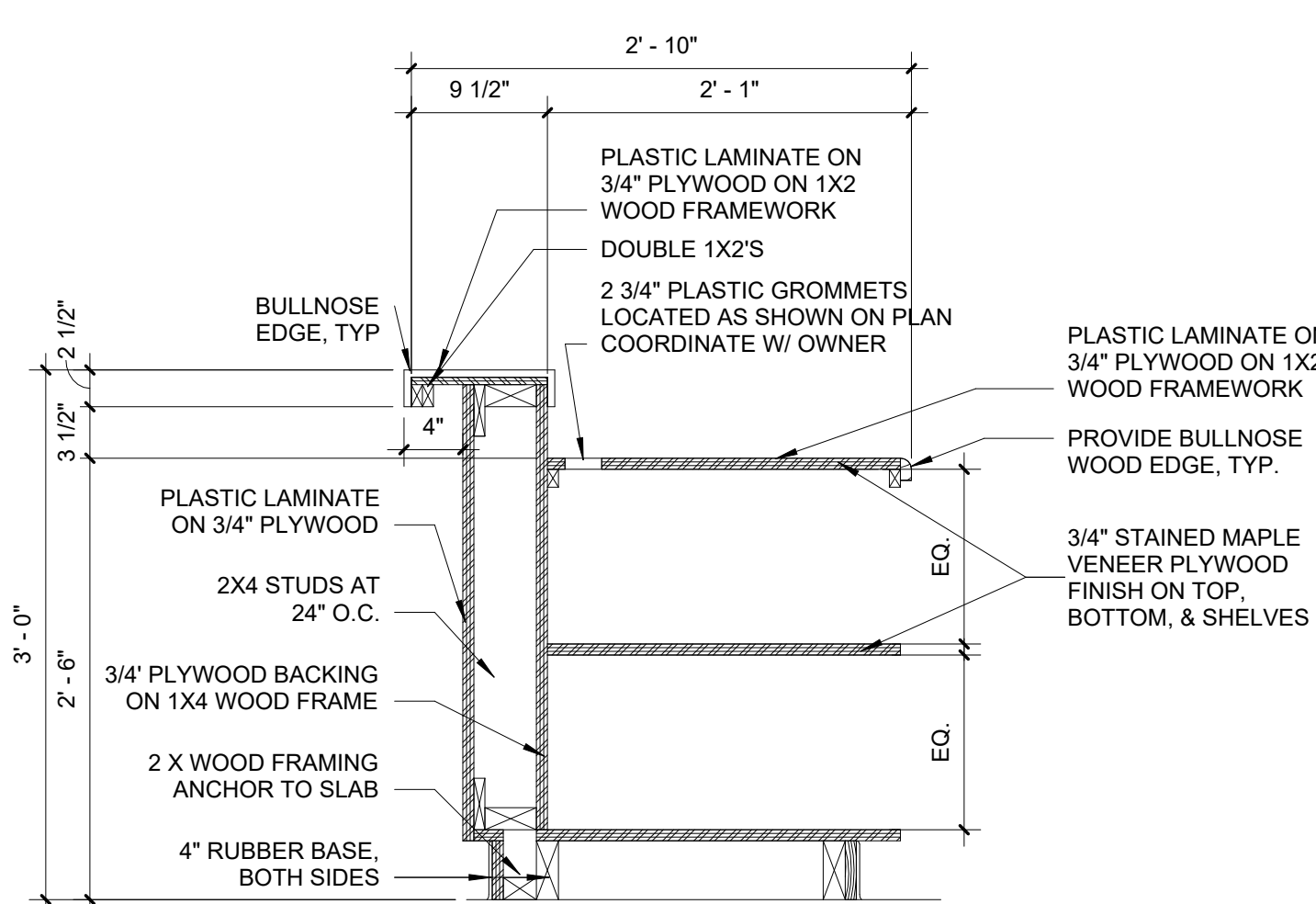
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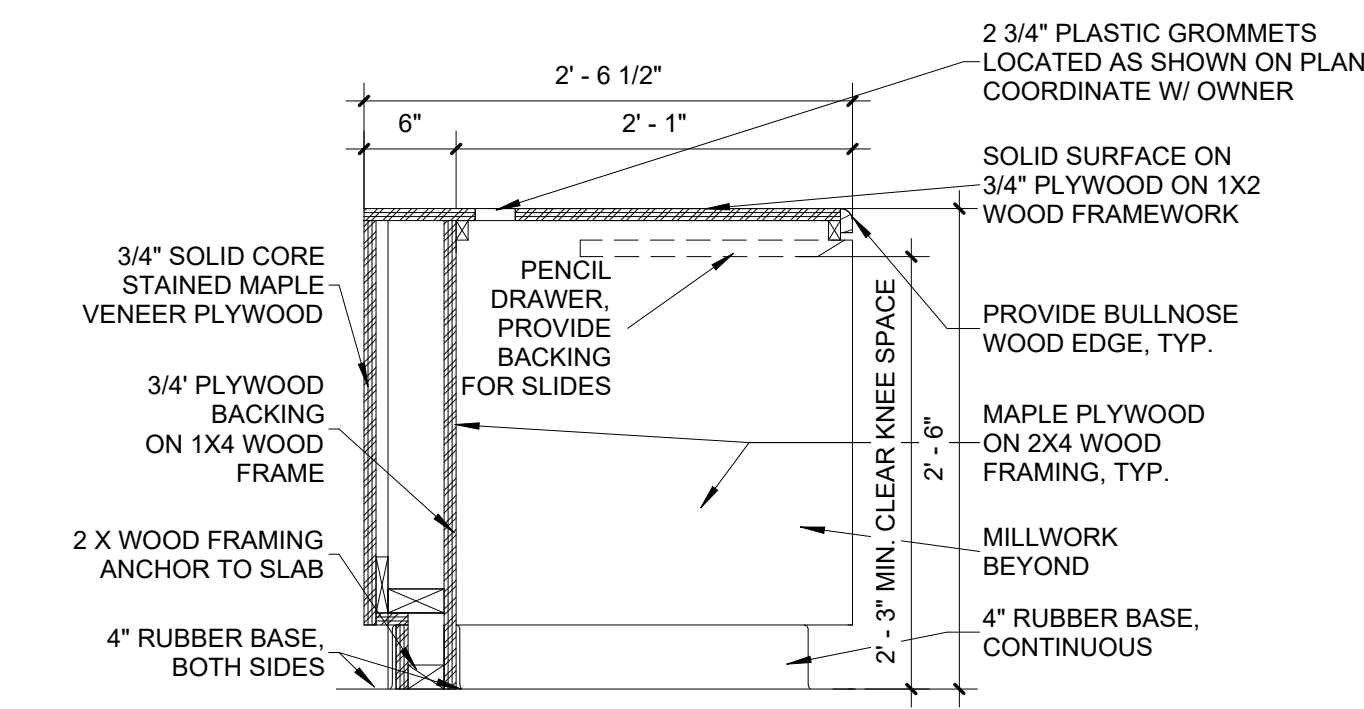
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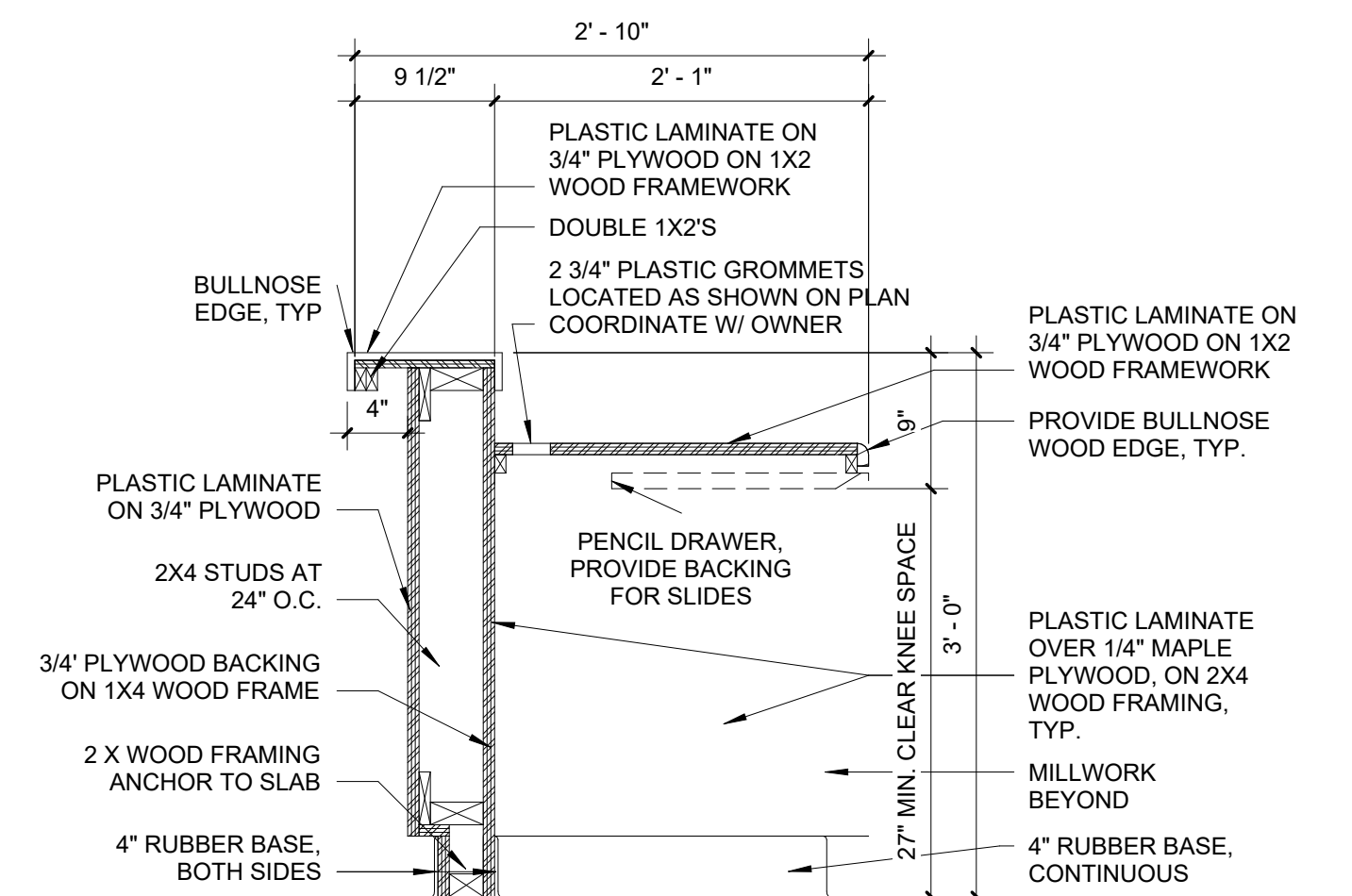
11 RECEPTION DESK- DRAWERS
1" = 1'-0"



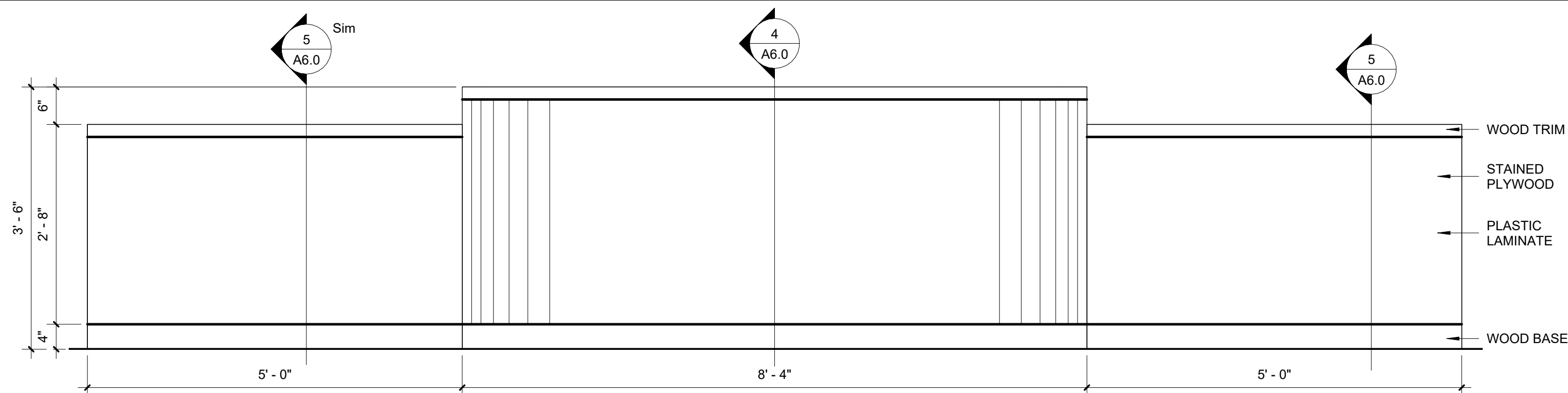
12 RECEPTION DESK- SHELVING
1" = 1'-0"



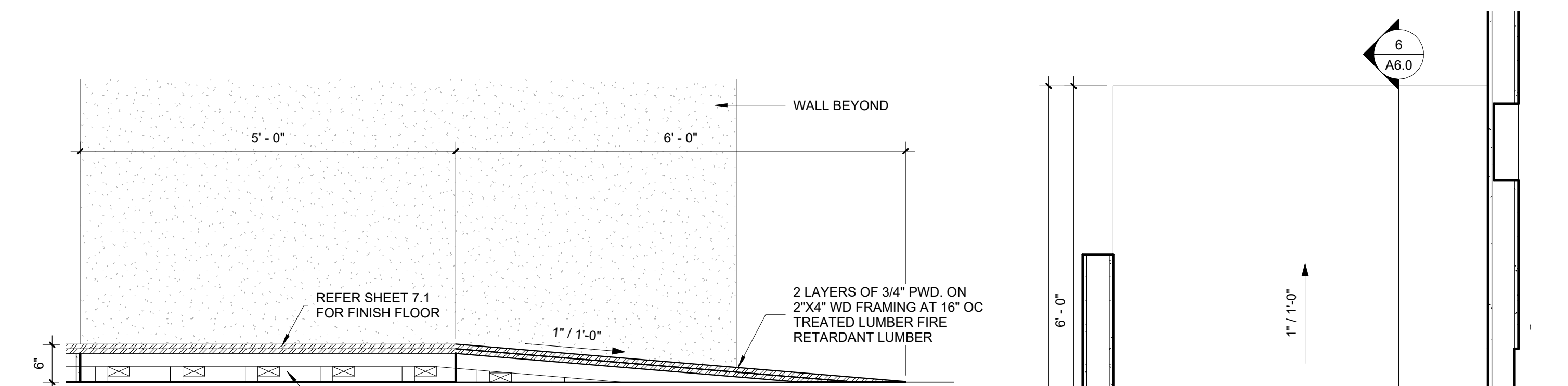
13 RECEPTION DESK- ADA PENCIL HOLDER
1" = 1'-0"



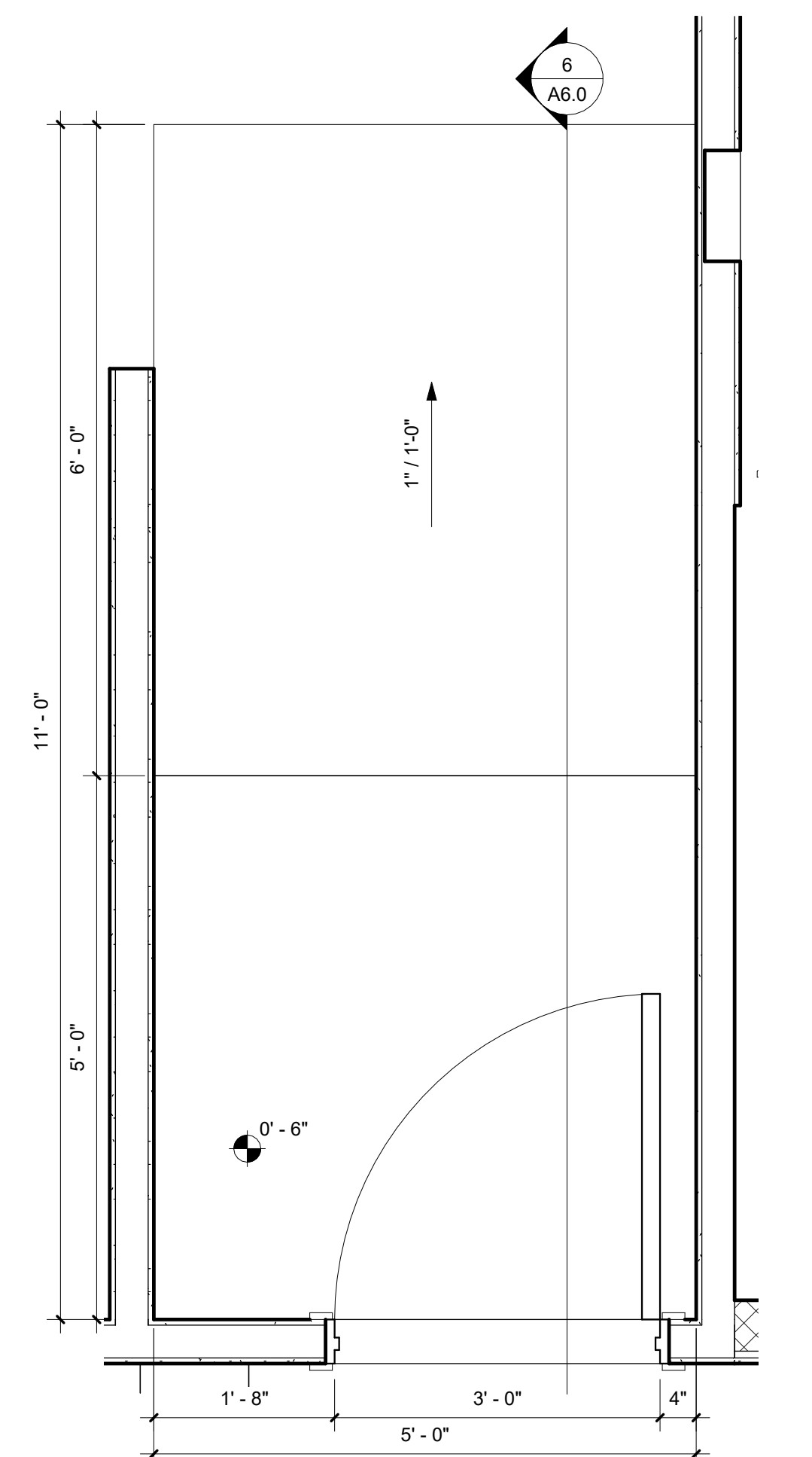
10 RECEPTION DESK- PENCIL HOLDER
1" = 1'-0"



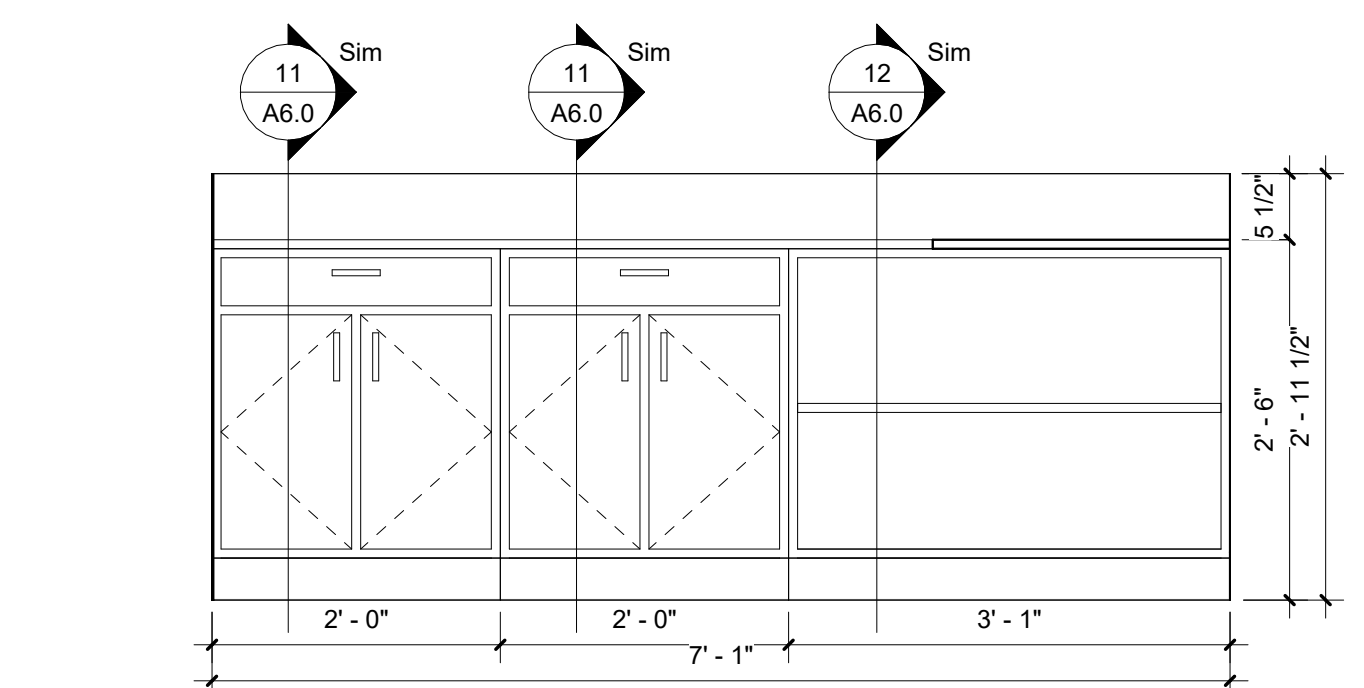
3 COURTROOM MILLWORK ELEVATION
3/4" = 1'-0"



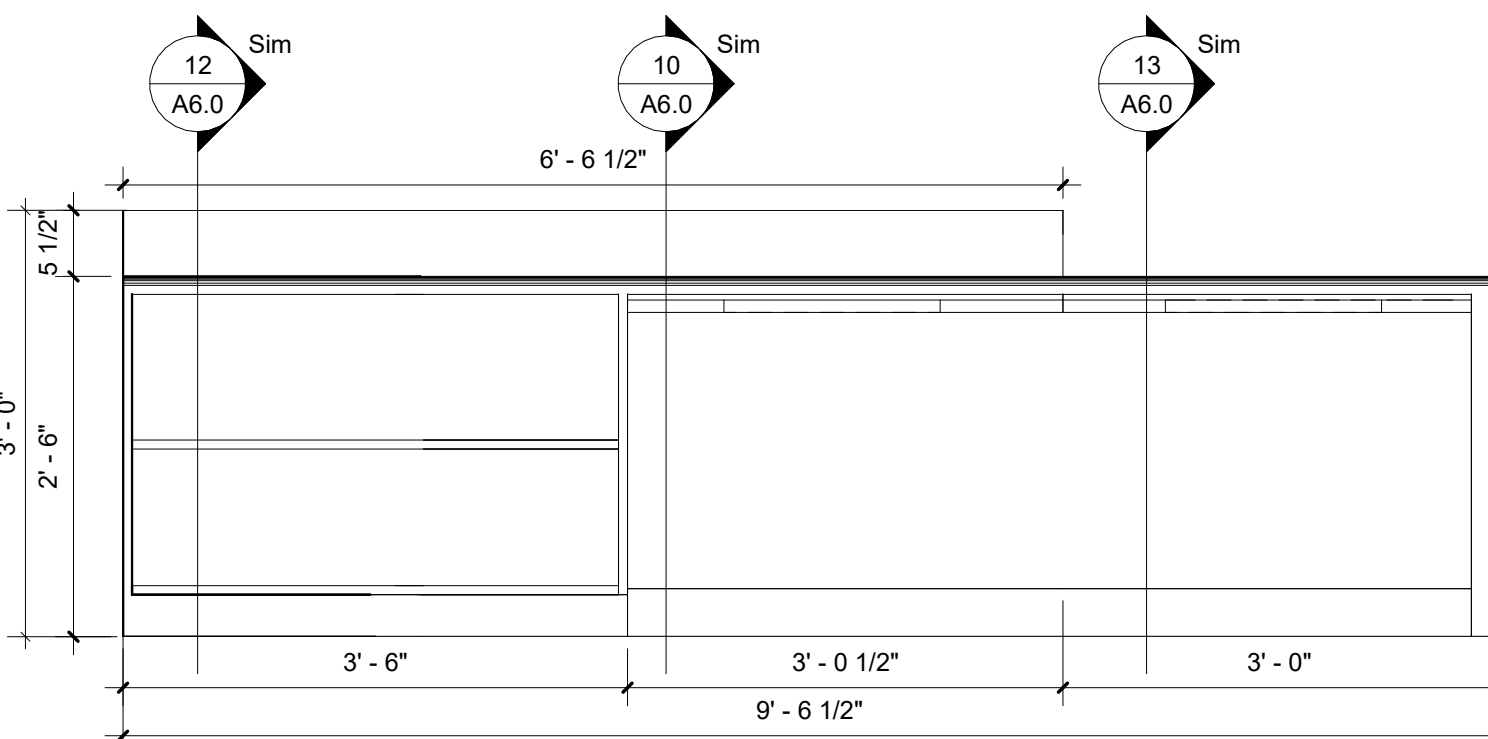
6 RAMP SECTION
3/4" = 1'-0"



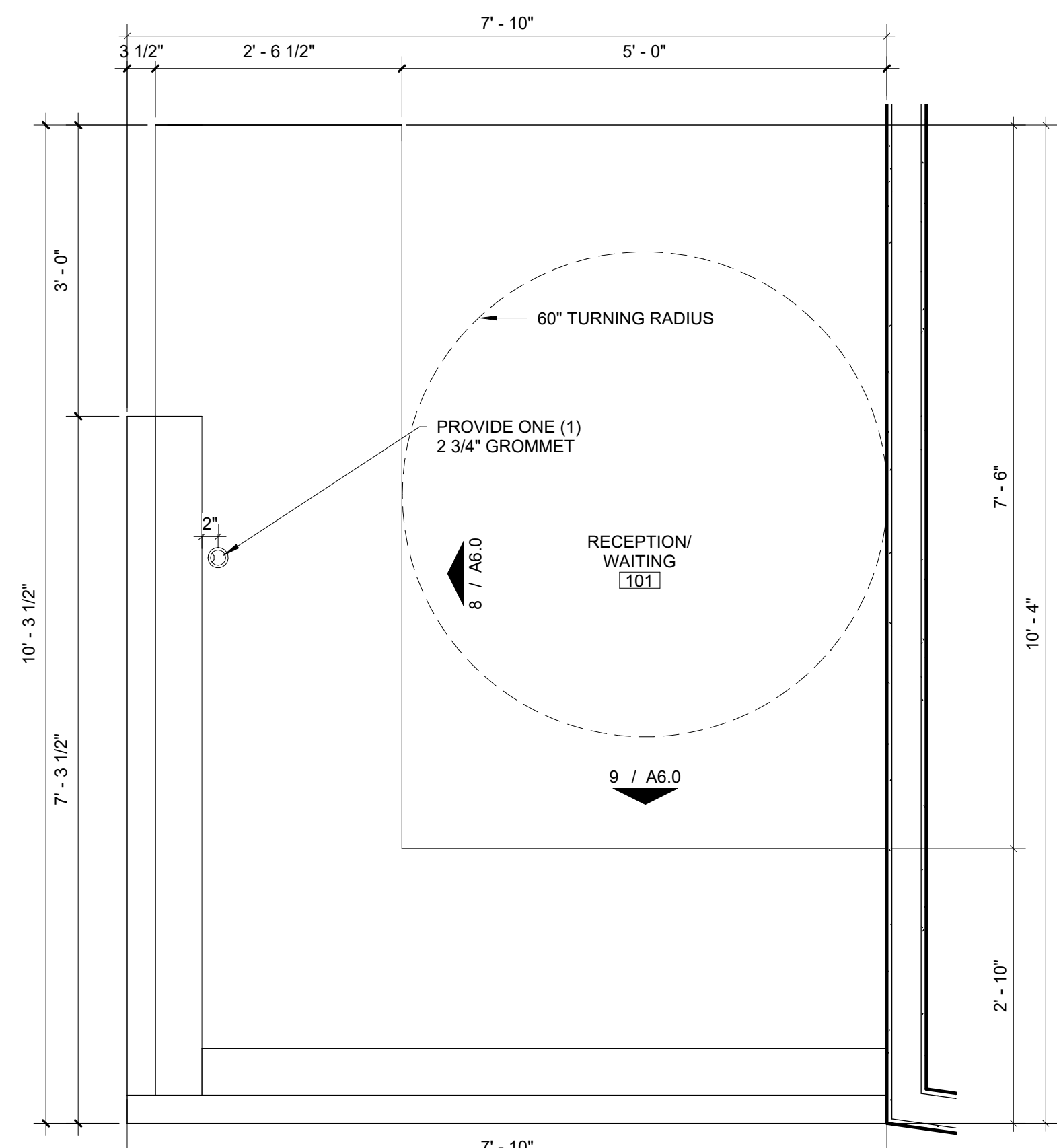
2 JUDGE DESK RAMP- ENLARGED PLAN
3/4" = 1'-0"



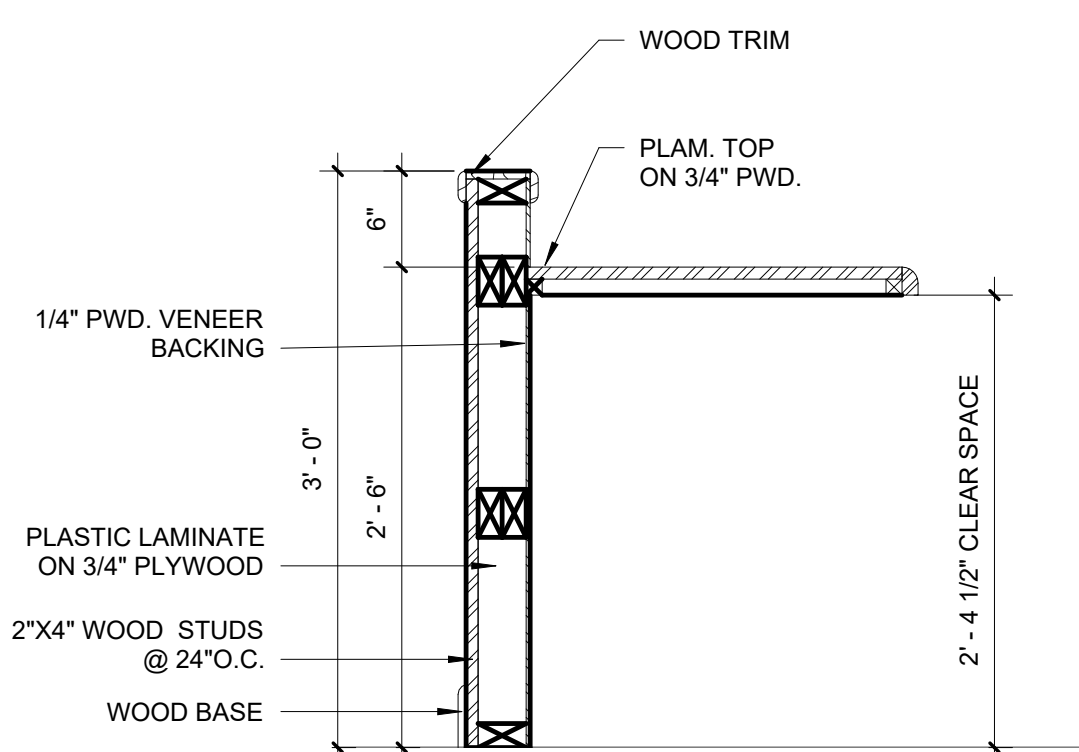
9 RECEPTION ELEVATION
3/4" = 1'-0"



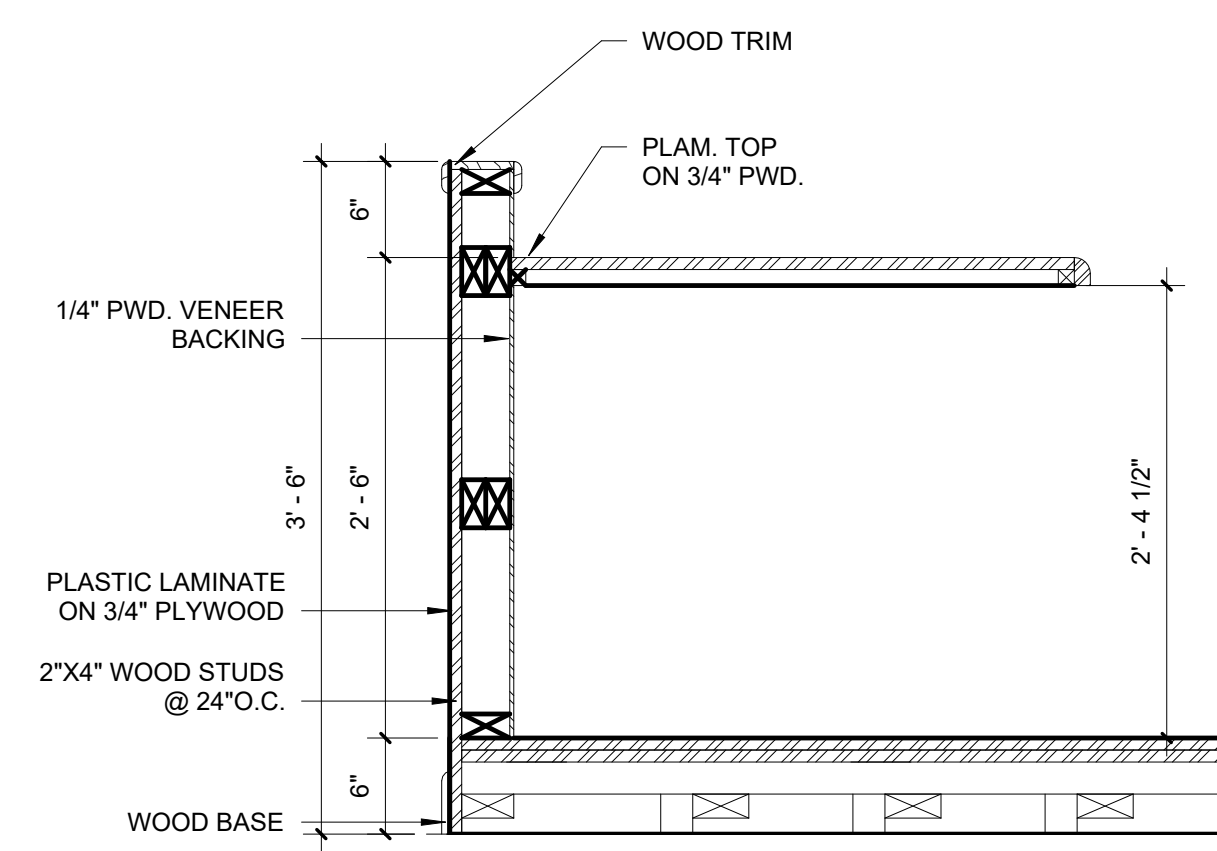
8 RECEPTION ELEVATION
3/4" = 1'-0"



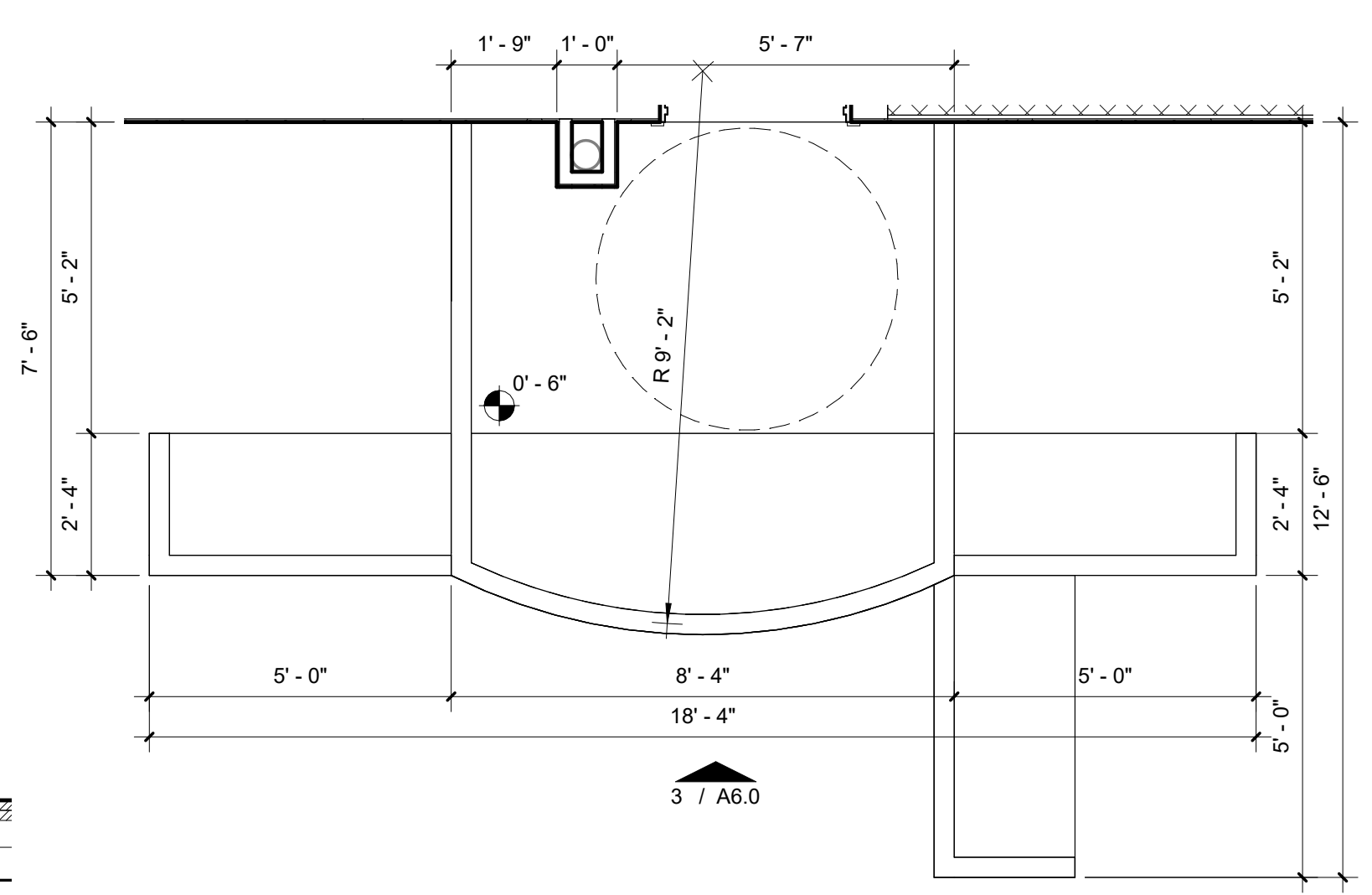
7 RECEPTION
3/4" = 1'-0"



5 MILLWORK SECTION
1" = 1'-0"



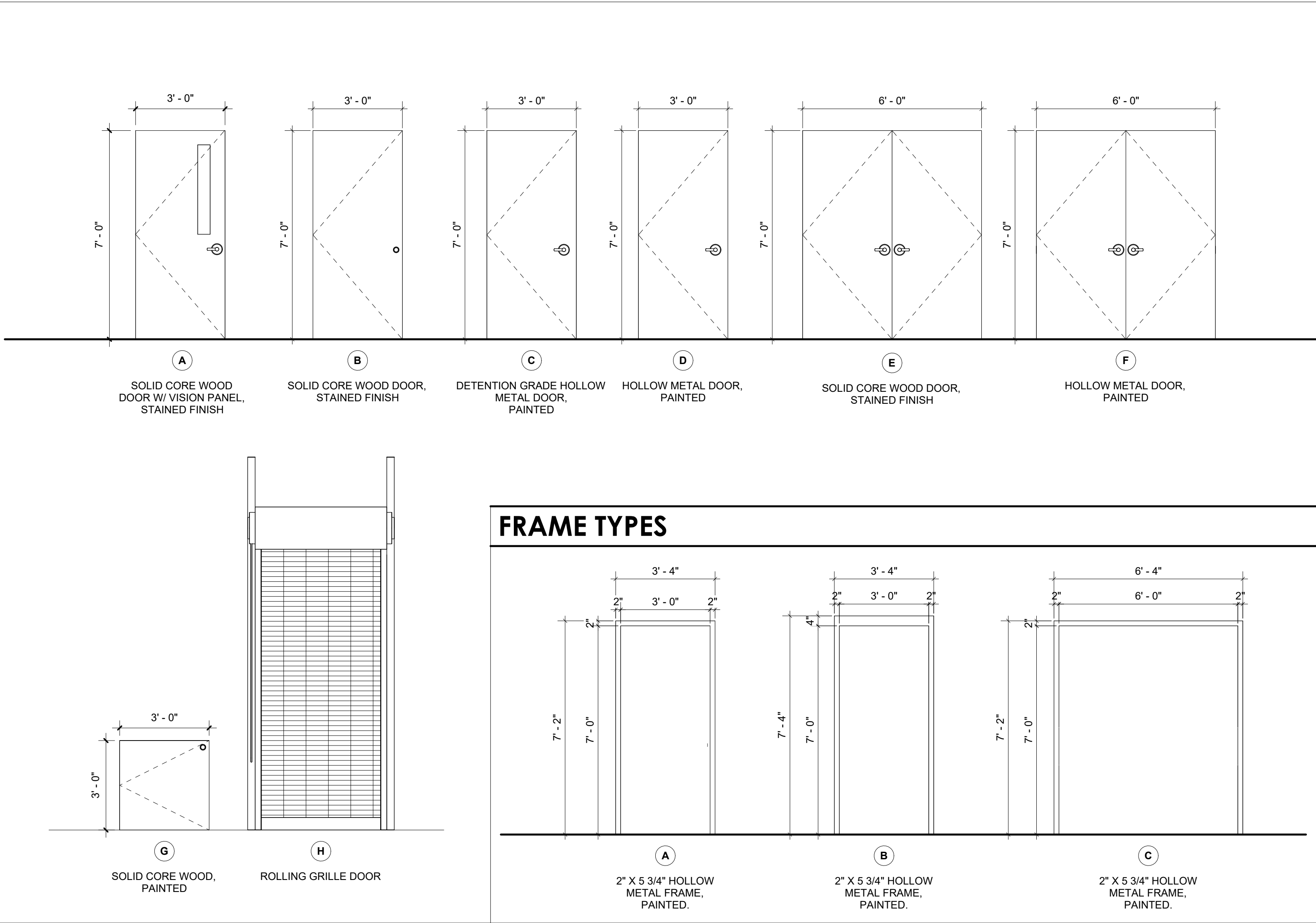
4 MILLWORK SECTION
1" = 1'-0"



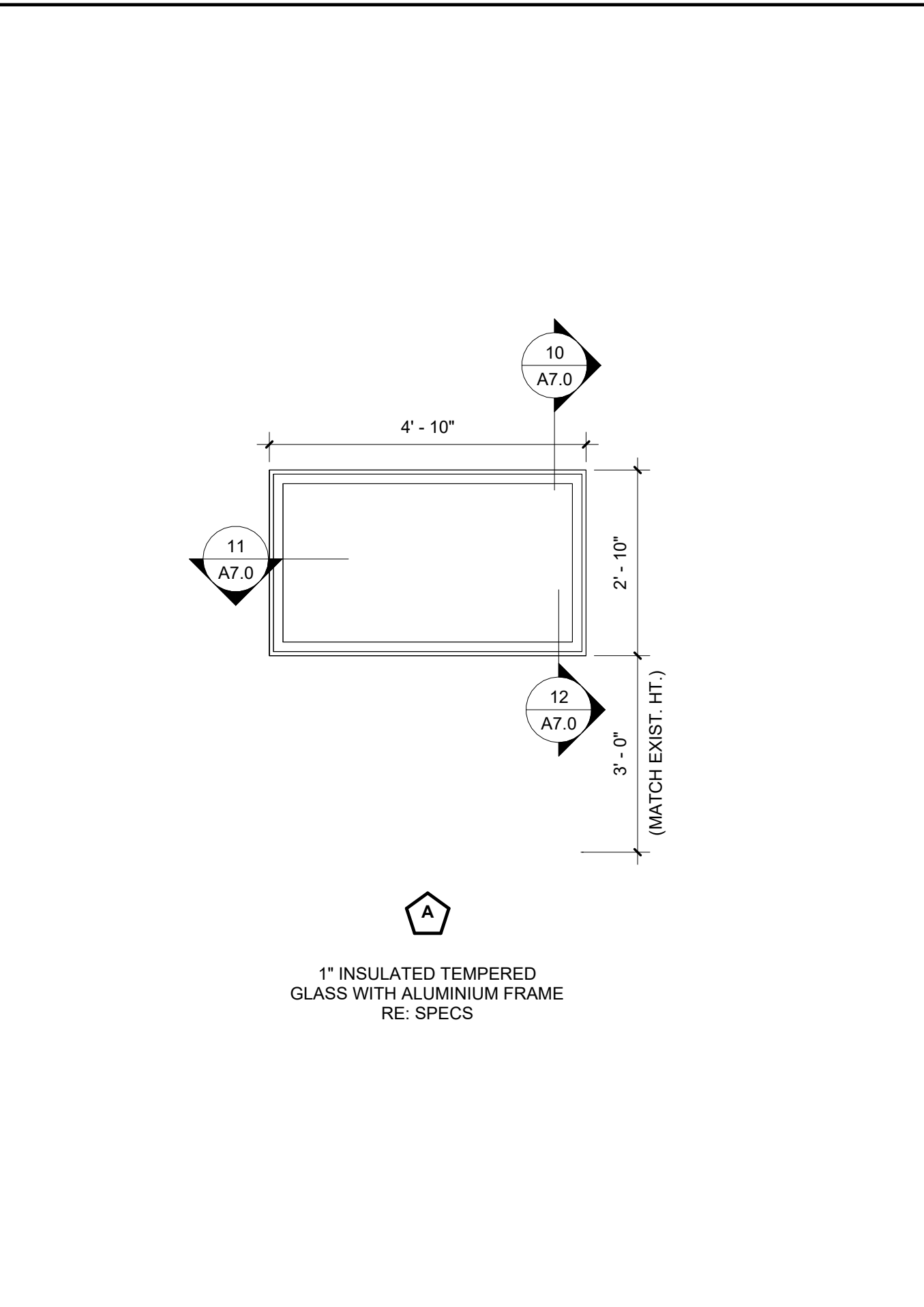
1 JUDGE DESK- ENLARGED PLAN
3/8" = 1'-0"

DOOR SCHEDULE														Comments
MARK	DESCRIPTION	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FRAME TYPE	FIRE RATING	DOOR HARDWARE	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	
100	ENTRANCE	-	5' - 1 1/2"	7' - 10 3/4"		EXISTING	EXISTING	EXISTING		RE: SPECS	-	-	-	INSPECT AND REPAIR/REPLACE AS NEEDED
102	SOUNDLOCK EAST	E	6' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	C	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
102A	SOUNDLOCK EAST	E	6' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	C		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
103	EAST COURT ROOM	C	3' - 0"	7' - 0"	0' - 2"	DETENTION GRADE HOLLOW MTL.	PAINTED	B		REF: SPECS	4/A7.0	5/A7.0	6/A7.0	
103A	EAST COURT ROOM	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
103B	EAST COURT ROOM	G	3' - 0"	3' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A		REF: SPECS	-	2/A7.0	3/A7.0	
104	COURT REPORTER/ BALIFF EAST	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
104A	COURT REPORTER/ BALIFF EAST	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
105	JUDGE QUARTERS (EAST)	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
105A	JUDGE QUARTERS (EAST)	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
106	HOLDING CELL BATHROOM (EAST)	C	3' - 0"	7' - 0"	0' - 2"	DETENTION GRADE HOLLOW MTL.	PAINTED	B		REF: SPECS	4/A7.0	5/A7.0	6/A7.0	
107	EAST PRIVATE BATHROOM	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
108	EAST HOLDING CELL	C	3' - 0"	7' - 0"	0' - 2"	DETENTION GRADE HOLLOW MTL.	PAINTED	B		REF: SPECS	4/A7.0	5/A7.0	6/A7.0	
109	EAST VESTIBULE	C	3' - 0"	7' - 0"	0' - 2"	DETENTION GRADE HOLLOW MTL.	PAINTED	A		REF: SPECS	7/A7.0	8/A7.0	9/A7.0	
109A	EAST VESTIBULE	H	5' - 0"	9' - 0"	0' - 3"	ALUMINUM		AS PER MANUF.		REF: SPECS	-	-	-	INSPECT AND REPAIR/REPLACE AS NEEDED
112	NEW MEN'S BATHROOM	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
113	NEW WOMEN'S BATHROOM	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
114	COUNTY COURT AT LAW	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
115	COUNTY COURT AT LAW	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
116	SECURE STORAGE ROOM	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
120	REAR ENTRANCE VESTIBULE	F	6' - 0"	7' - 0"	0' - 2"	HOLLOW METAL	PAINTED	C		REF: SPECS	7/A7.0	8/A7.0	9/A7.0	
120A	REAR ENTRANCE VESTIBULE	-	6' - 0"	7' - 0"	0' - 2"	EXISTING	PAINTED	EXISTING		REF: SPECS	-	-	-	
121	JURY ROOM 1	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
122	JURY R.R.	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
123	JURY ROOM 2	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
124	WEST VESTIBULE	H	5' - 0"	9' - 0"	0' - 3"	ALUMINUM		AS PER MANUF.		REF: SPECS	-	-	-	
125	WEST HOLDING CELL	C	3' - 0"	7' - 0"	0' - 2"	DETENTION GRADE HOLLOW MTL.	PAINTED	B	20 MIN	REF: SPECS	4/A7.0	5/A7.0	6/A7.0	
126	WEST PRIVATE BATHROOM	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
127	HOLDING CELL BATHROOM (WEST)	C	3' - 0"	7' - 0"	0' - 2"	DETENTION GRADE HOLLOW MTL.	PAINTED	B		REF: SPECS	4/A7.0	5/A7.0	6/A7.0	
128	JUDGE QUARTERS (WEST)	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
128A	JUDGE QUARTERS (WEST)	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
129	COURT REPORTER/ BALIFF WEST	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
129A	COURT REPORTER/ BALIFF WEST	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
130	WEST COURT ROOM	C	3' - 0"	7' - 0"	0' - 2"	DETENTION GRADE HOLLOW MTL.	PAINTED	B		REF: SPECS	4/A7.0	5/A7.0	6/A7.0	
130A	WEST COURT ROOM	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
130B	WEST COURT ROOM	G	3' - 0"	3' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A		REF: SPECS	-	2/A7.0	3/A7.0	
131	SOUNDLOCK WEST	E	6' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	C	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
131A	SOUNDLOCK WEST	E	6' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	C		REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
133	MEETING ROOM	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
133A	MEETING ROOM	A	3' - 0"	7' - 0"	0' - 2"		STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
134	MECHANICAL	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
135	ELECTRICAL/IDF	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
136	MECHANICAL 2	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
137	STORAGE	B	3' - 0"	7' - 0"	0' - 2"	SOLID CORE WOOD	STAINED	A	20 MIN	REF: SPECS	1/A7.0	2/A7.0	3/A7.0	
138	SMALL MECHANICAL	D	3' - 0"	7' - 0"	0' - 2"	HOLLOW METAL	PAINTED	A		REF: SPECS	7/A7.0	8/A7.0	9/A7.0	

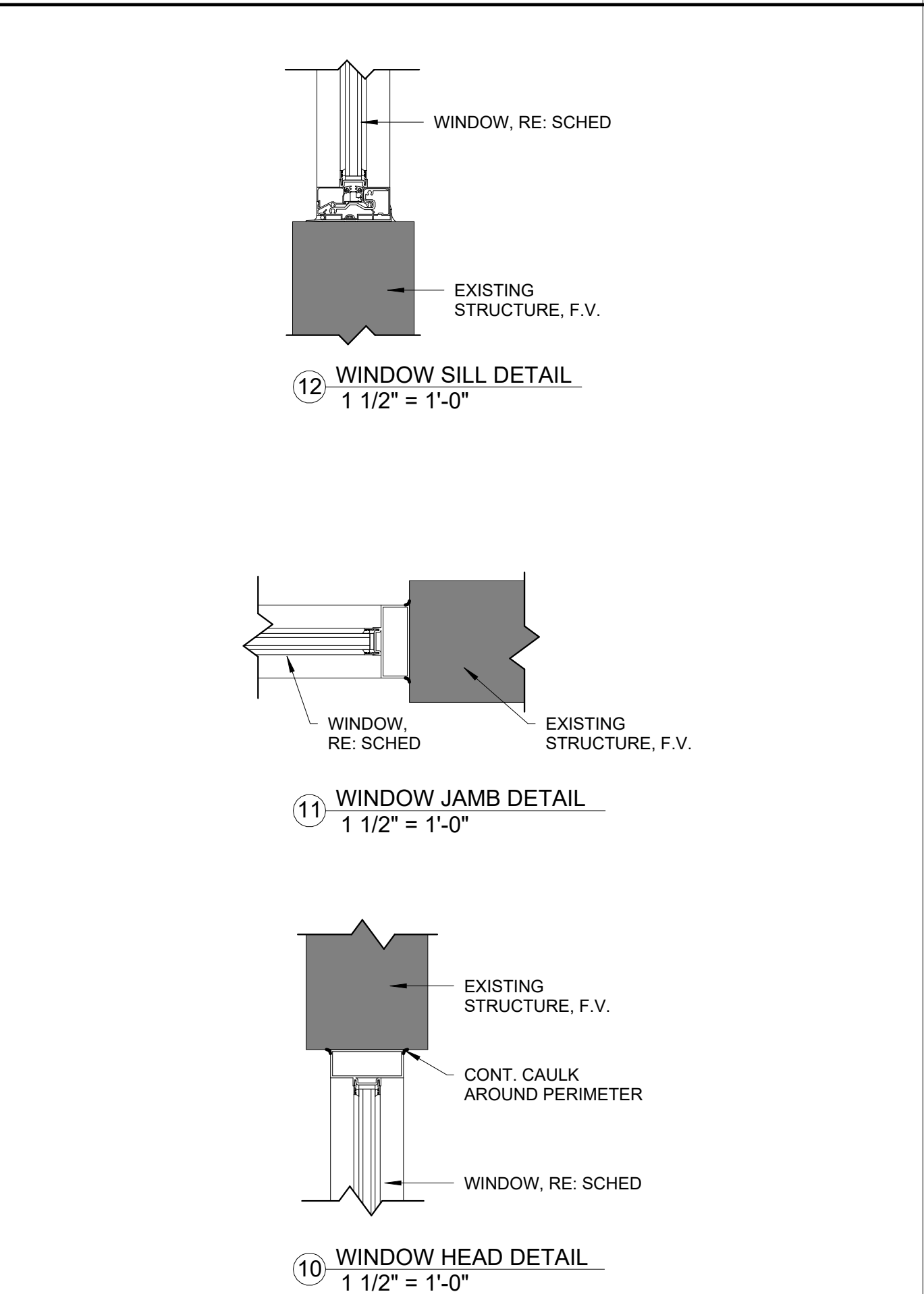
DOOR TYPES



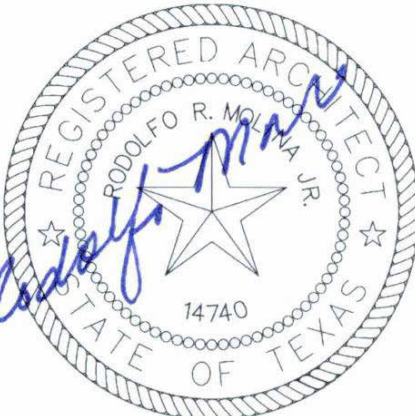
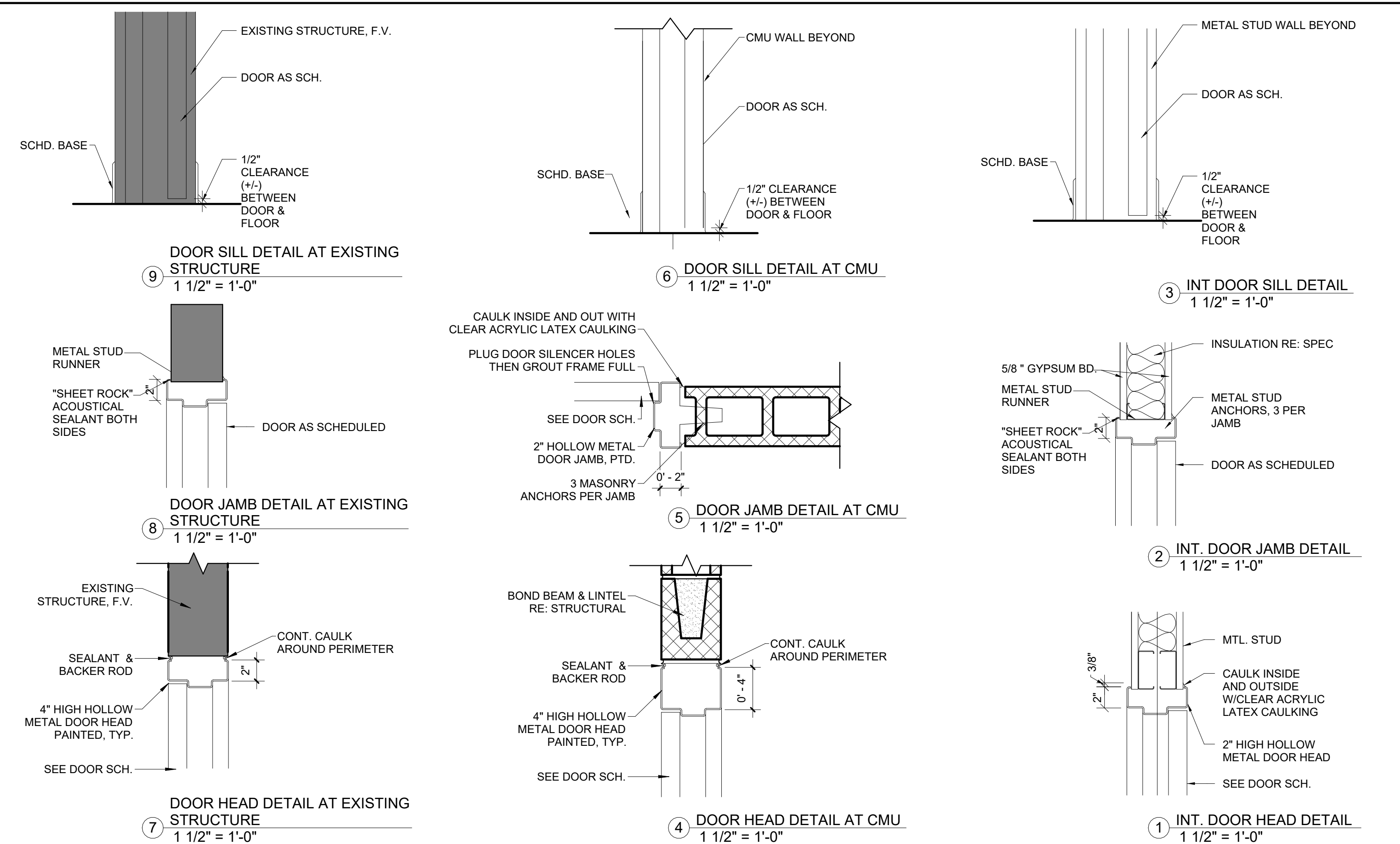
WINDOW TYPES



WINDOW DETAILS



DOOR DETAILS



11.12.2025

STARR COUNTY COURTHOUSE TEMPORARY
HOUSING INTERIOR BUILD-OUT
STARR COUNTY
1920 US-83 RIO GRANDE CITY, TX

PROJECT NUMBER
224026

DATE
11.12.2025

ISSUE FOR BIDS

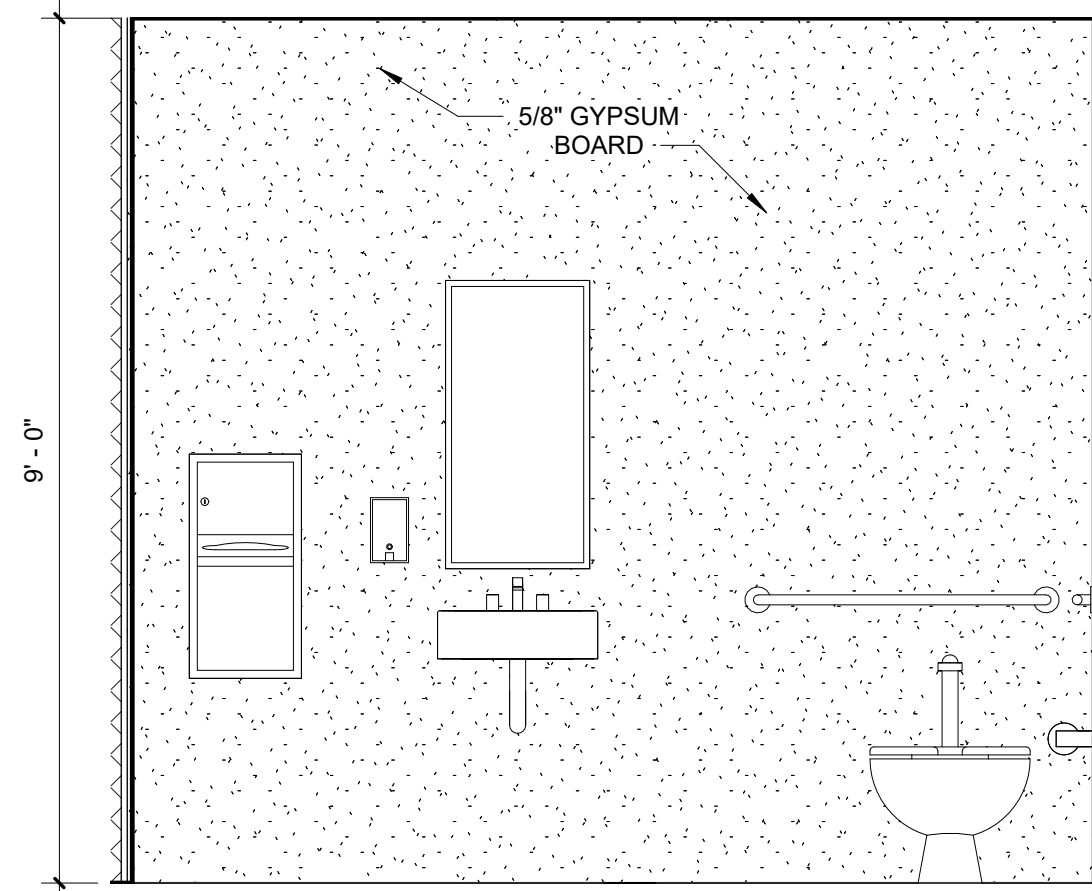
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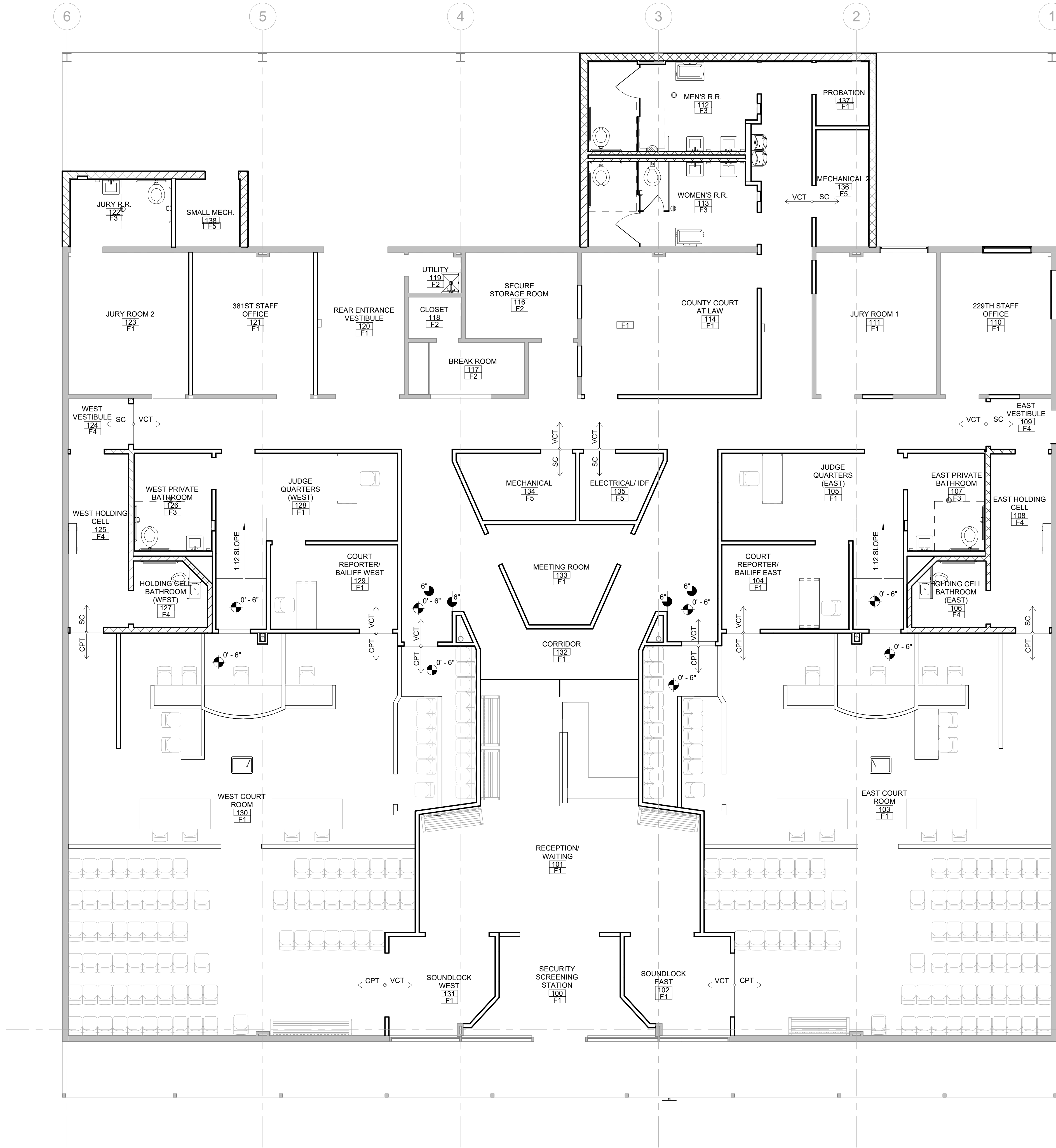
ROOM SCHEDULE							
Number	Name	FINISH KEY NOTE	WALLS	BASE	FLOOR	CEILING	Comments
100	SECURITY SCREENING STATION	F1	P-1	B-1	VCT	C-1	
101	RECEPTION/ WAITING	F1	P-1	B-1	VCT	C-1	
102	SOUNDLOCK EAST	F1	P-1	B-1	VCT	C-1	
103	EAST COURT ROOM	F6	P-1	B-1	CPT	C-1	
104	COURT REPORTER/ BAILIFF EAST	F1	P-1	B-1	VCT	C-1	
105	JUDGE QUARTERS (EAST)	F1	P-1	B-1	VCT	C-1	
106	HOLDING CELL BATHROOM (EAST)	F4	P-3	-	SC	C-4	
107	EAST PRIVATE BATHROOM	F3	P-2	B-1	VCT	C-2	
108	EAST HOLDING CELL	F4	P-3	-	SC	C-4	
109	EAST VESTIBULE	F4	P-3	-	SC	C-4	
110	229TH STAFF OFFICE	F1	P-1	B-1	VCT	C-1	
111	JURY ROOM 1	F1	P-1	B-1	VCT	C-1	
112	MEN'S R.R.	F3	P-2	B-1	VCT	C-2	
113	WOMEN'S R.R.	F3	P-2	B-1	VCT	C-2	
114	COUNTY COURT AT LAW	F1	P-1	B-1	VCT	C-1	
115	PROBATION OFFICE	F1	P-1	B-1	VCT	C-1	
116	SECURE STORAGE ROOM	F2	P-1	B-1	VCT	C-2	
117	BREAK ROOM	F2	P-1	B-1	VCT	C-2	
118	CLOSET	F2	P-1	B-1	VCT	C-2	
119	UTILITY	F2	P-1	B-1	VCT	C-2	
120	REAR ENTRANCE VESTIBULE	F1	P-1	B-1	VCT	C-1	
121	381ST STAFF OFFICE	F1	P-1	B-1	VCT	C-1	
122	JURY R.R.	F3	P-2	B-1	VCT	C-2	
123	JURY ROOM 2	F1	P-1	B-1	VCT	C-1	
124	WEST VESTIBULE	F4	P-3	-	SC	C-4	
125	WEST HOLDING CELL	F4	P-3	-	SC	C-4	
126	WEST PRIVATE BATHROOM	F3	P-2	B-1	VCT	C-2	
127	HOLDING CELL BATHROOM (WEST)	F4	P-3	-	SC	C-4	
128	JUDGE QUARTERS (WEST)	F1	P-1	B-1	VCT	C-1	
129	COURT REPORTER/ BAILIFF WEST	F1	P-1	B-1	VCT	C-1	
130	WEST COURT ROOM	F6	P-1	B-1	CPT	C-1	
131	SOUNDLOCK WEST	F1	P-1	B-1	VCT	C-1	
132	CORRIDOR	F1	P-1	B-1	VCT	C-1	
133	MEETING ROOM	F1	P-1	B-1	VCT	C-1	
134	MECHANICAL	F5	P-1	B-1	SC	C-3	
135	ELECTRICAL/ IDF	F5	P-1	B-1	SC	C-3	
136	MECHANICAL 2	F5	P-1	B-1	SC	C-3	
137	PROBATION	F1	P-1	B-1	VCT	C-1	
138	SMALL MECH.	F5	P-1	B-1	SC	C-3	

ROOM FINISH SCHEDULE							
Key Name	WALLS	BASE	FLOOR	CEILING	MISC.	REMARKS	
F1	P-1	B-1	VCT	C-1			
F2	P-1	B-1	VCT	C-2			
F3	P-2	B-1	VCT	C-2			
F4	P-3	-	SC	C-4			
F5	P-1	B-1	SC	C-3			
F6	P-1	B-1	CPT	C-1			

ROOM FINISH STANDARDS	
WALLS	
P-1	LATEX PAINT
P-2	EPOXY PAINT
P-3	GLAZED CMU
FLOOR COVERINGS	
VCT	VINYL COMPOSITION TILE
SC	SEALED CONCRETE
CPT	CARPET TILE
BASE	
B-1	4" RUBBER BASE
CEILING	
C-1	SUSP. ACOUSTICAL CEILING (2X2)
C-2	PAINTED GYPSUM BOARD
C-3	EXPOSED STRUCTURE, PAINTED
C-4	PLYWOOD CEILING



2 TYP. RESTROOM ELEV.
1/2" = 1'-0"

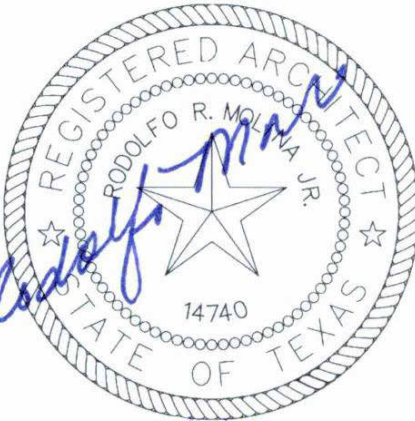


1 FINISH FLOOR
3/16" = 1'-0"



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STARR COUNTY COURTHOUSE TEMPORARY
HOUSING INTERIOR BUILD-OUT
STARR COUNTY
1920 US-83 RIO GRANDE CITY, TX

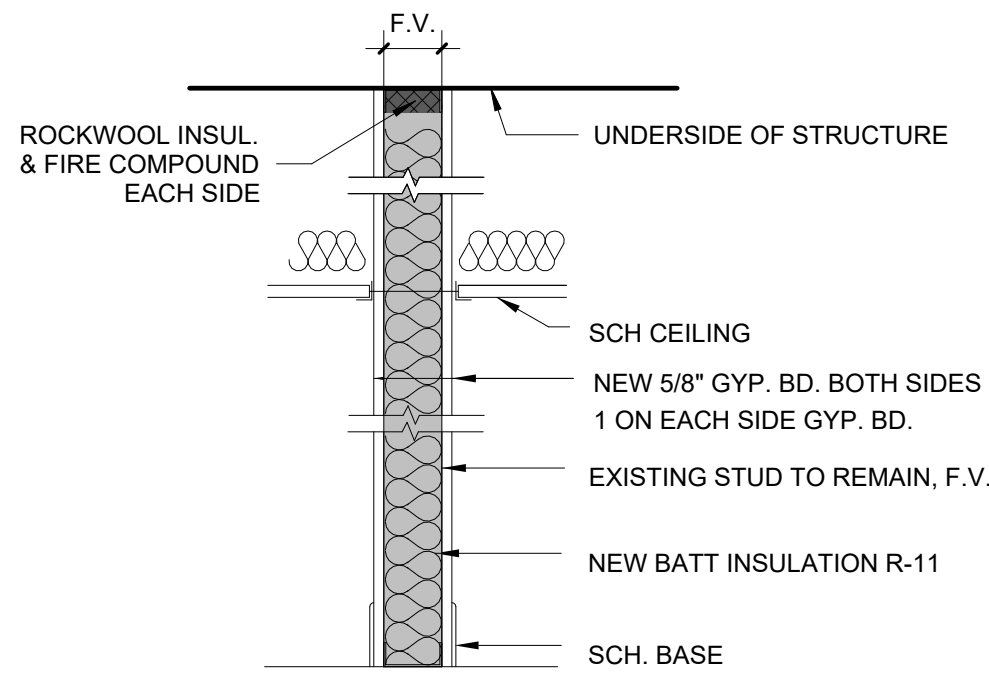
PROJECT NUMBER
224026

DATE
11.12.2025

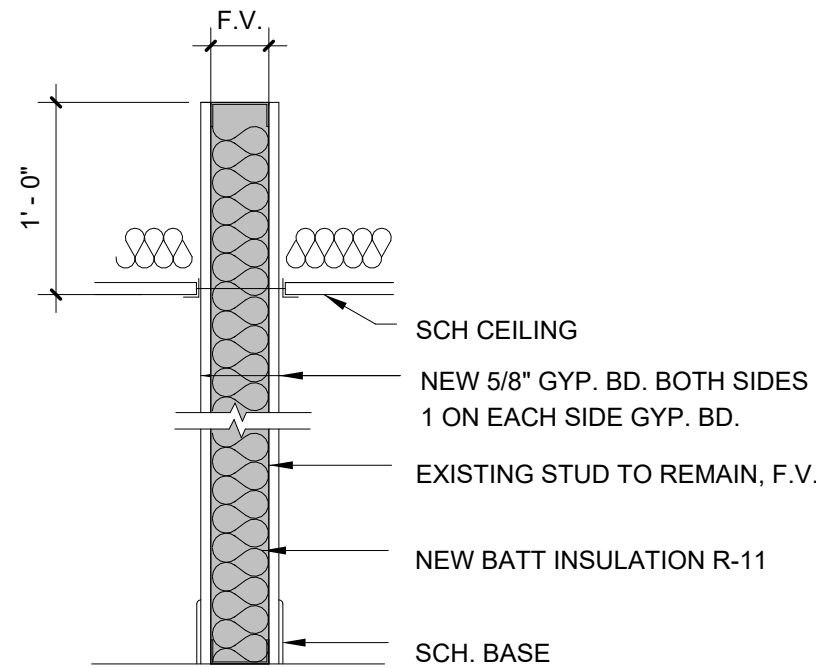
ISSUE FOR BIDS

SHEET NUMBER

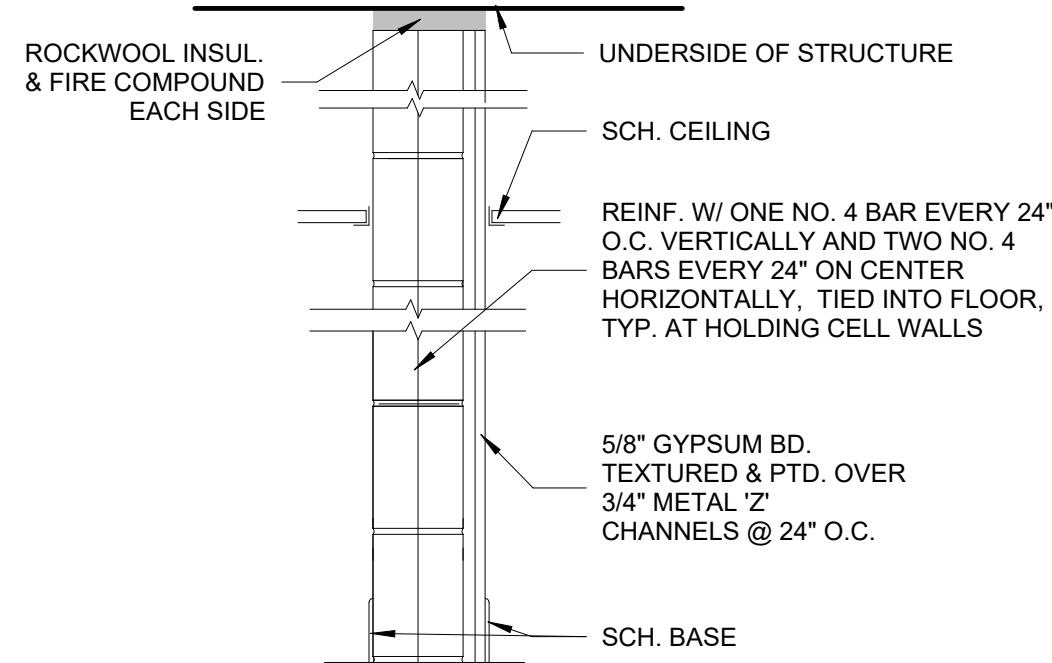
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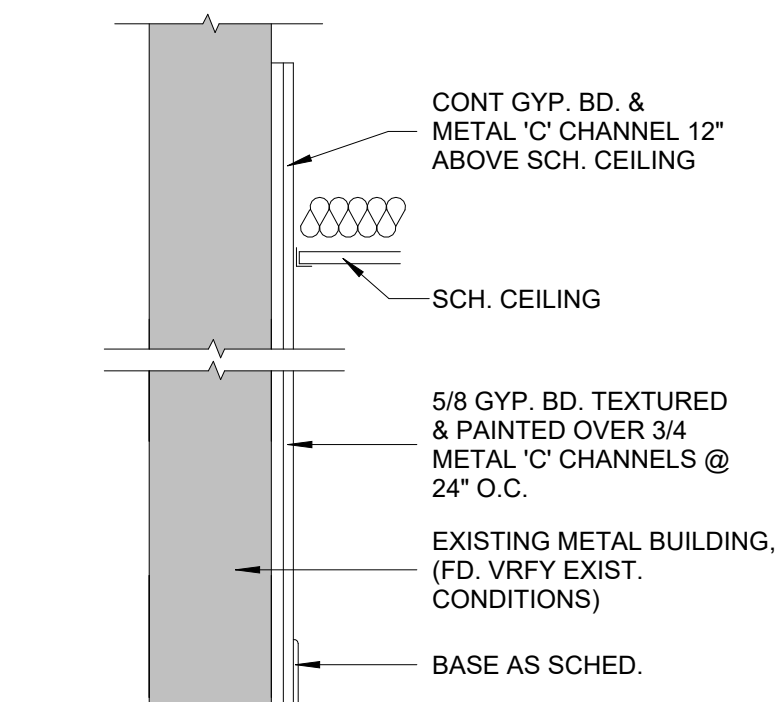
H1 EXISTING STUD W/ NEW GYP.
U.L. #U465 - 1HR. FIRE RATED



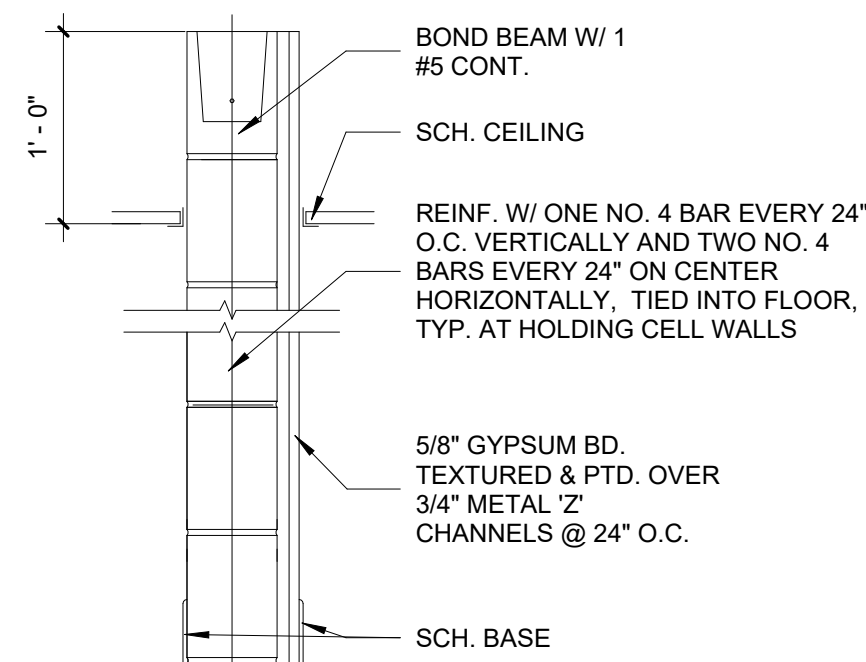
H EXISTING STUD W/ NEW GYP.



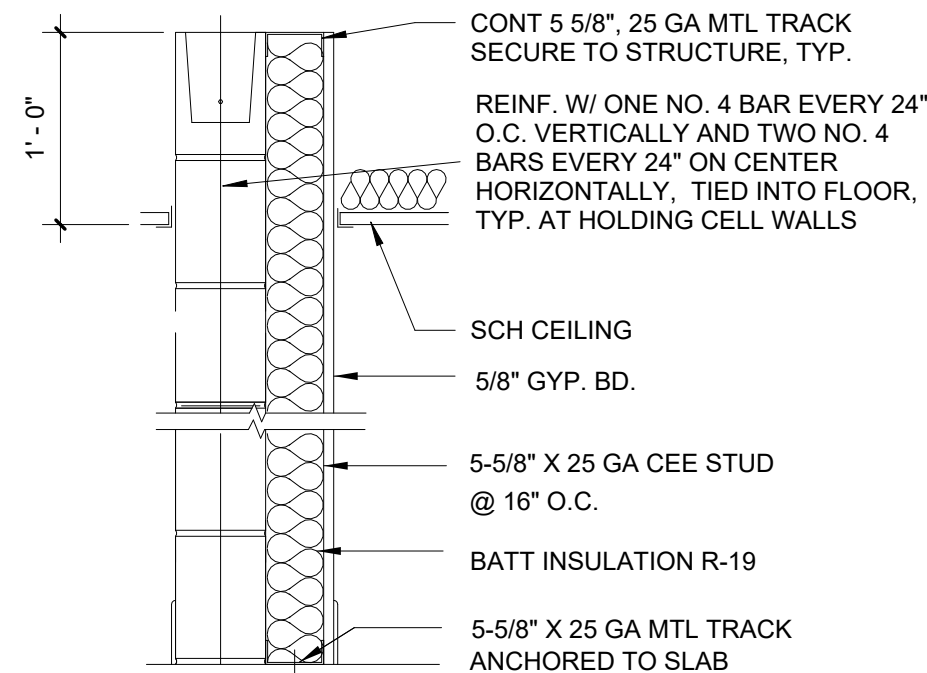
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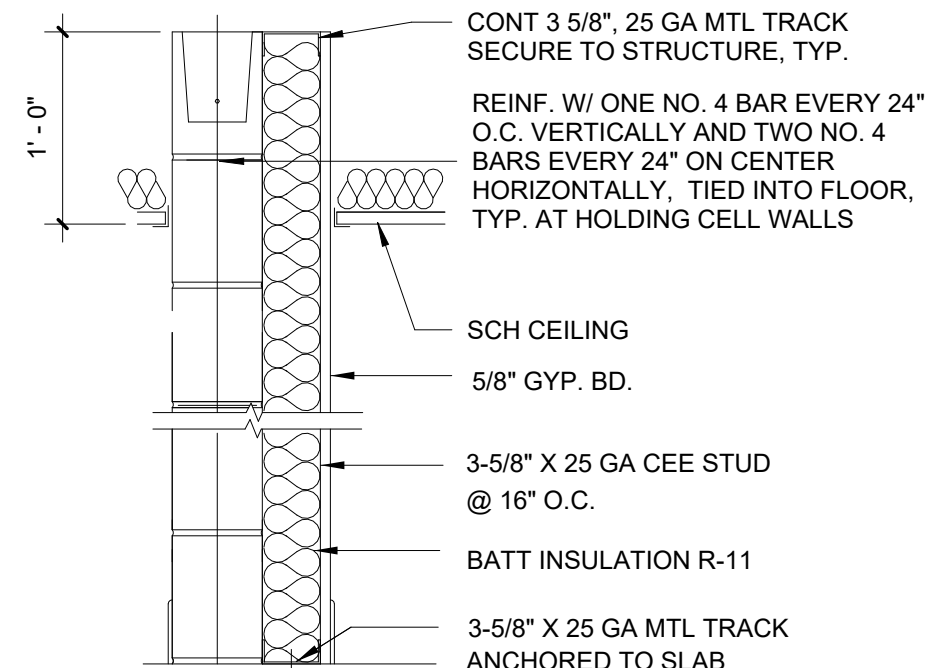
I FURRING WALL



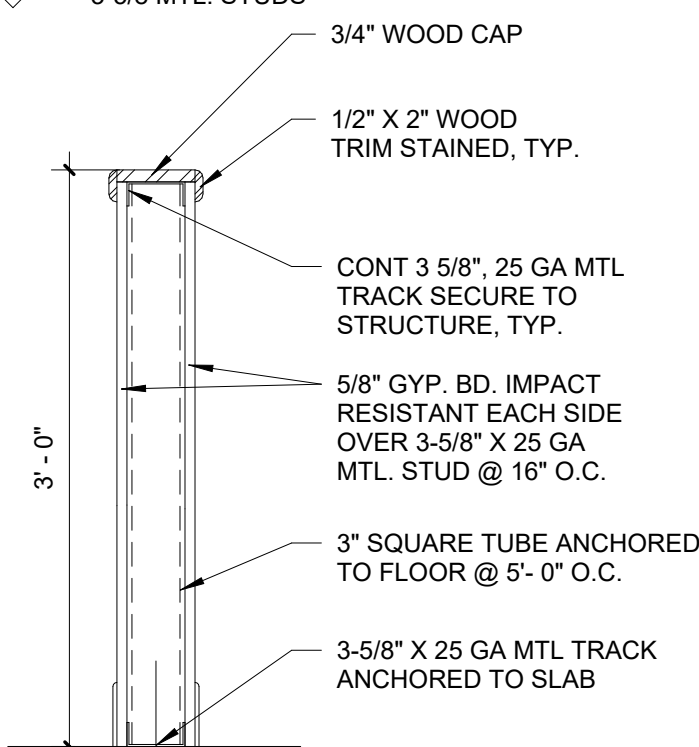
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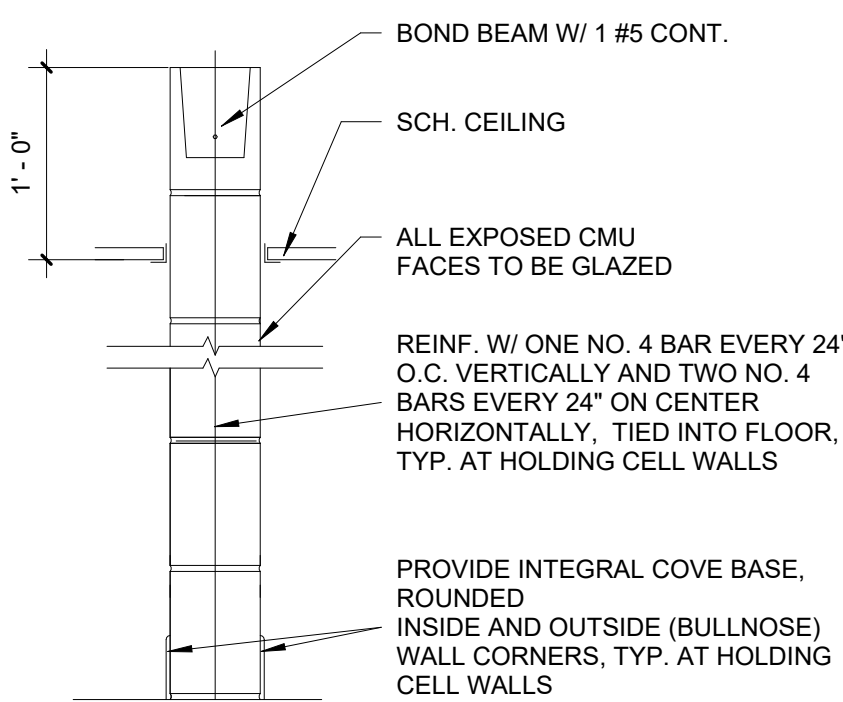
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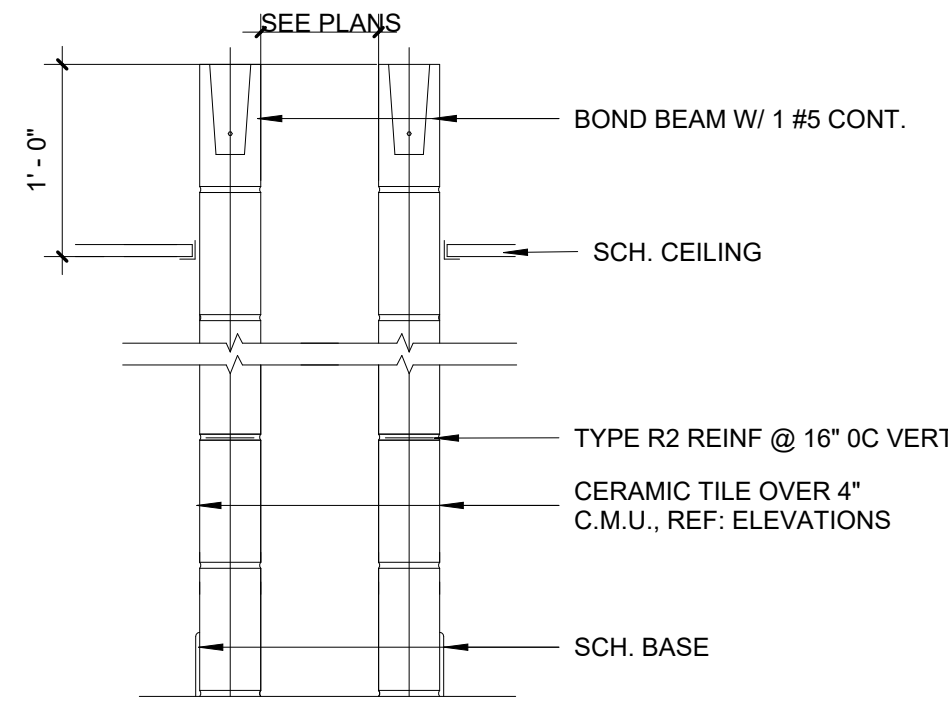
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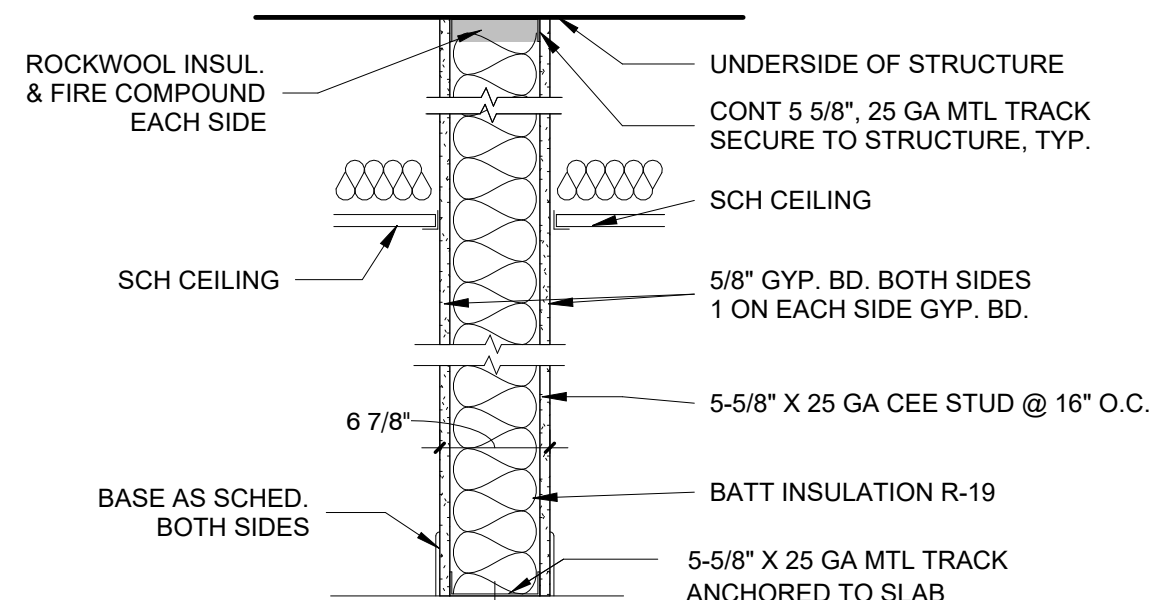
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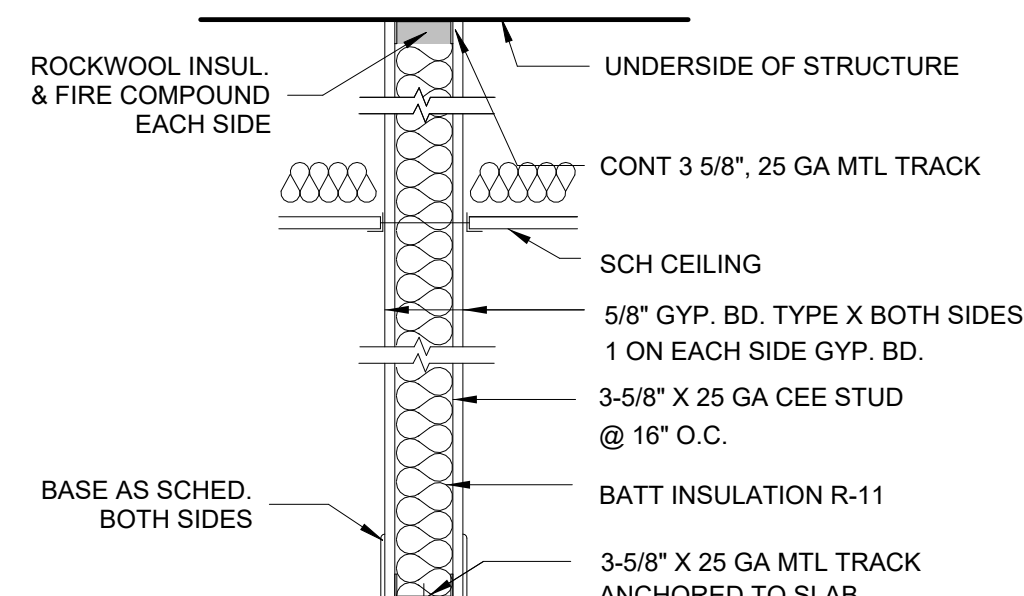
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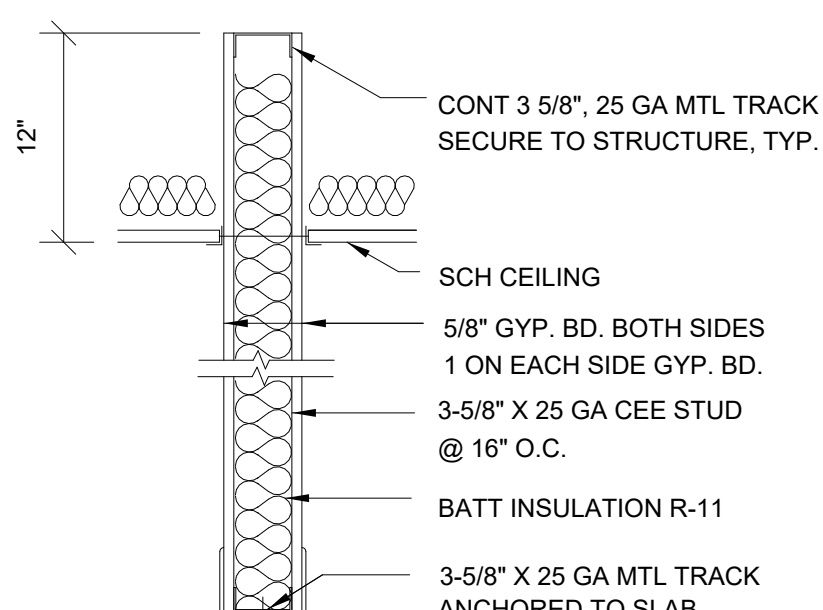
C C.M.U. CHASE WALL



B 5-5/8\"/>



A1 3-5/8\"/>



A 3-5/8\"/>



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1920 US-83 RIO GRANDE CITY, TX

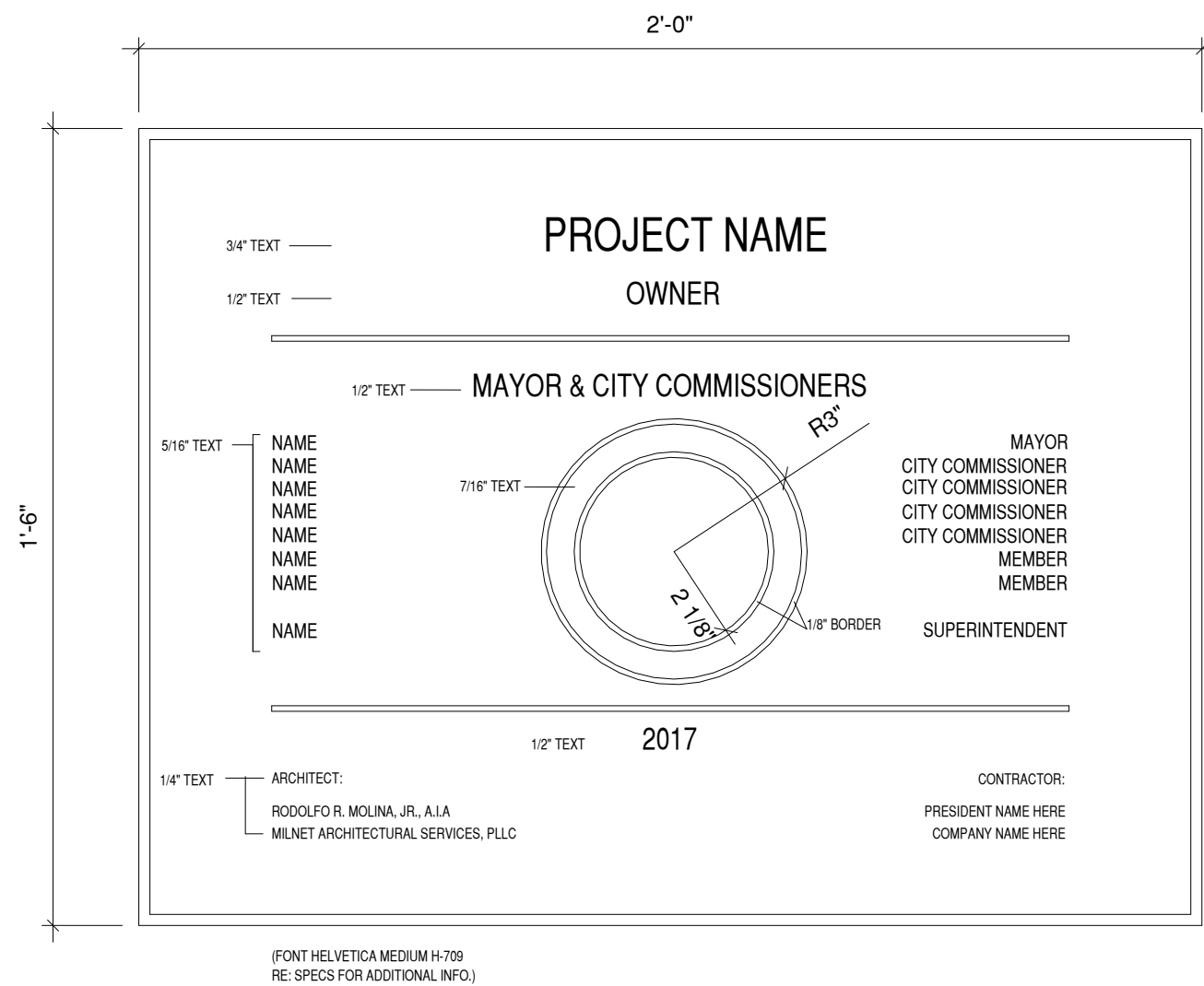
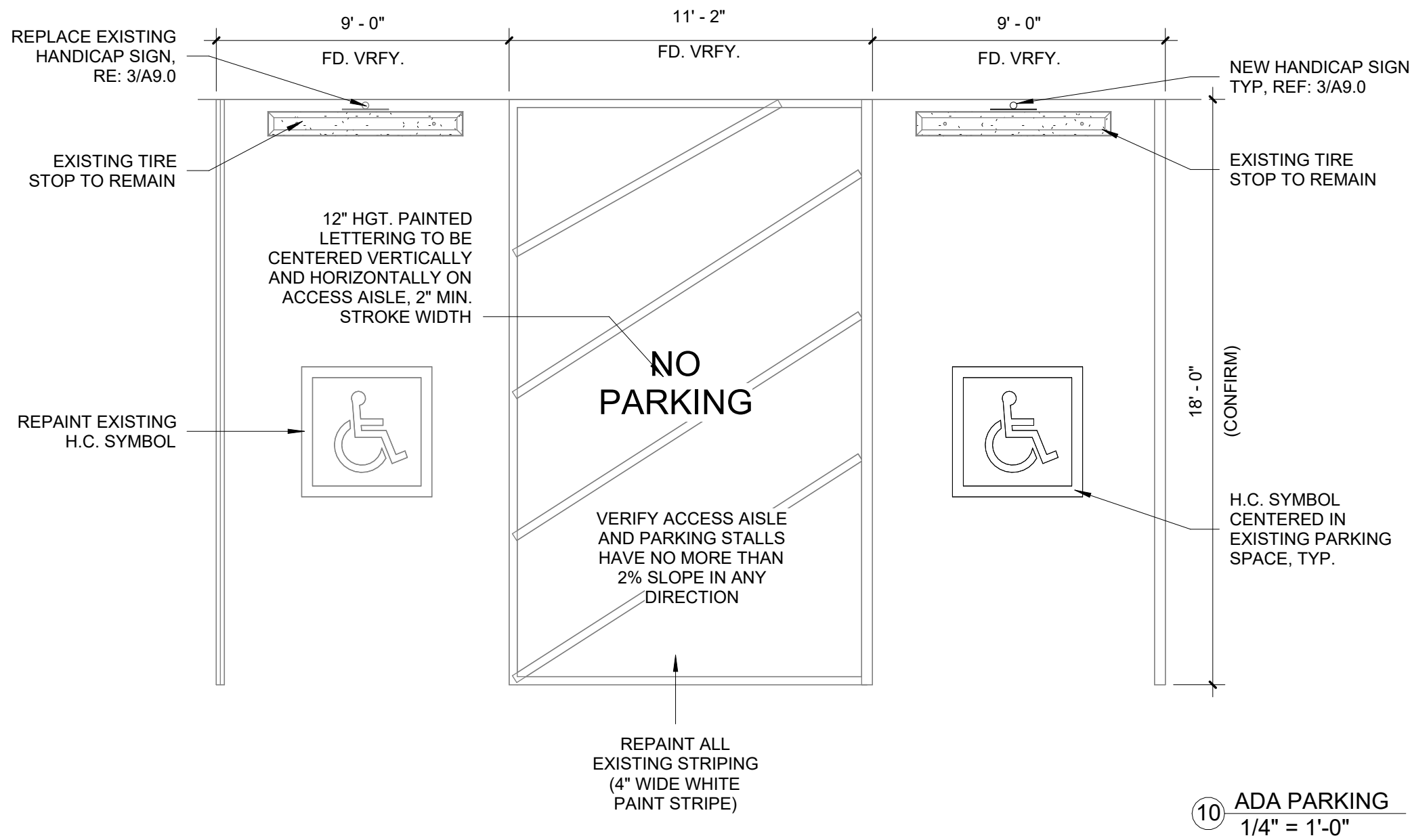
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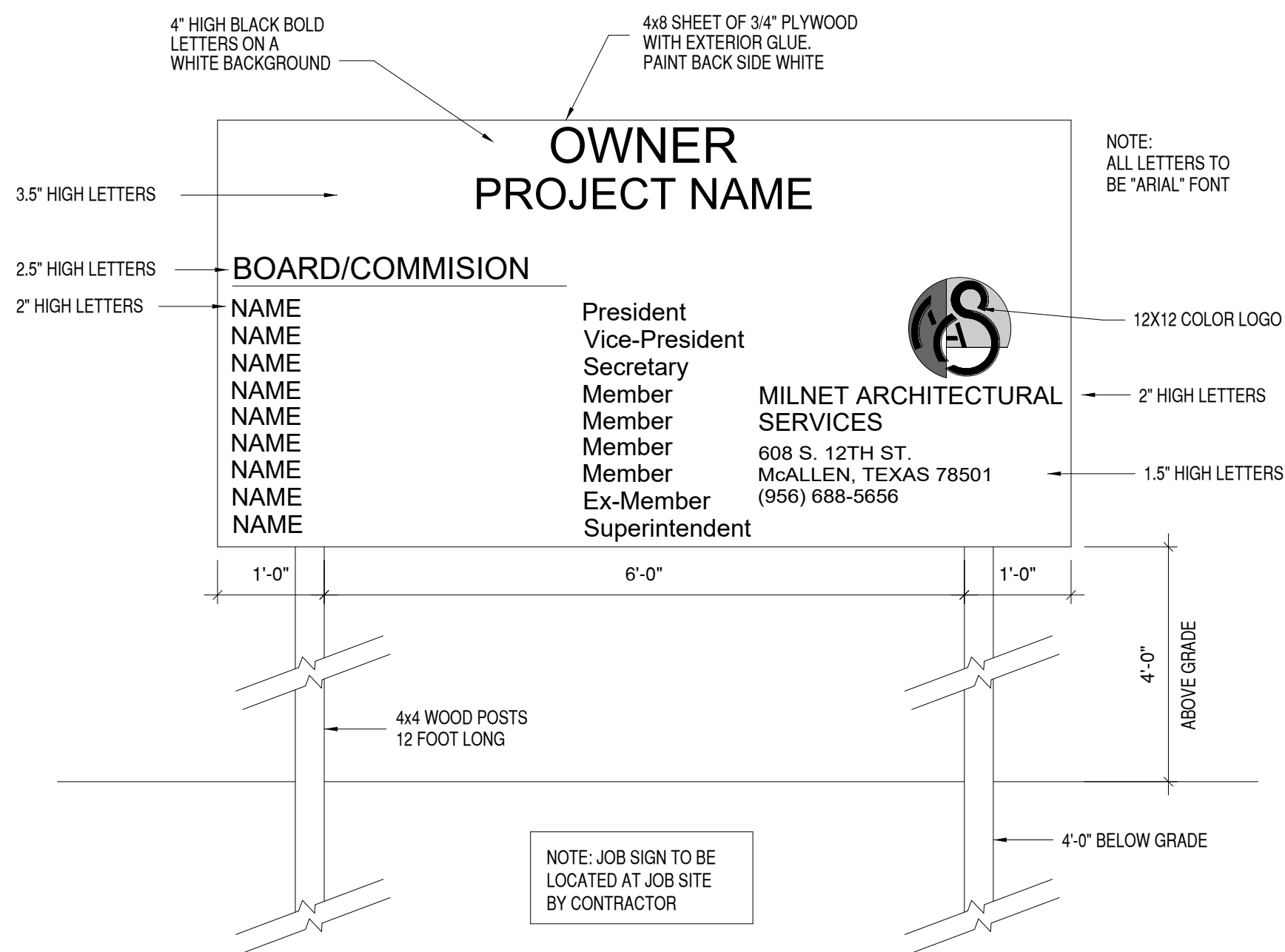
ISSUE FOR BIDS

SHEET NUMBER

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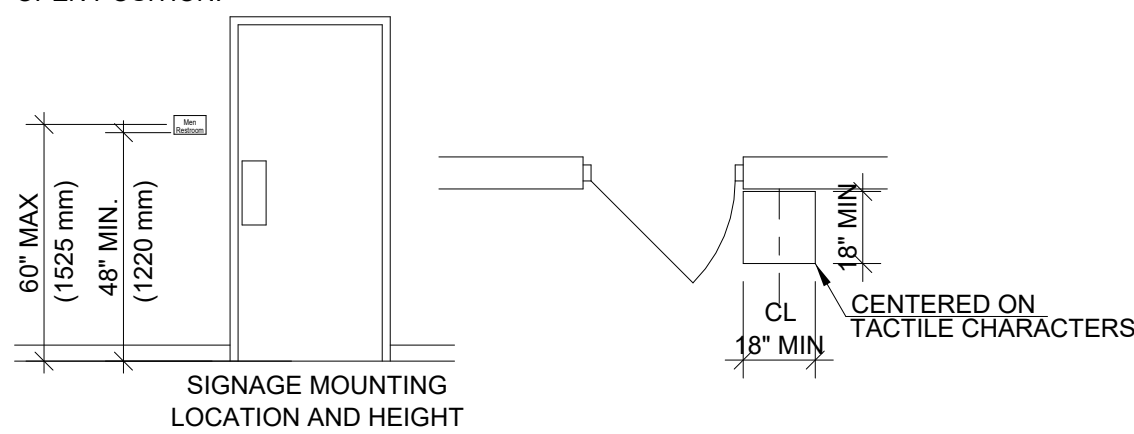


5 PLAQUE
N.T.S.

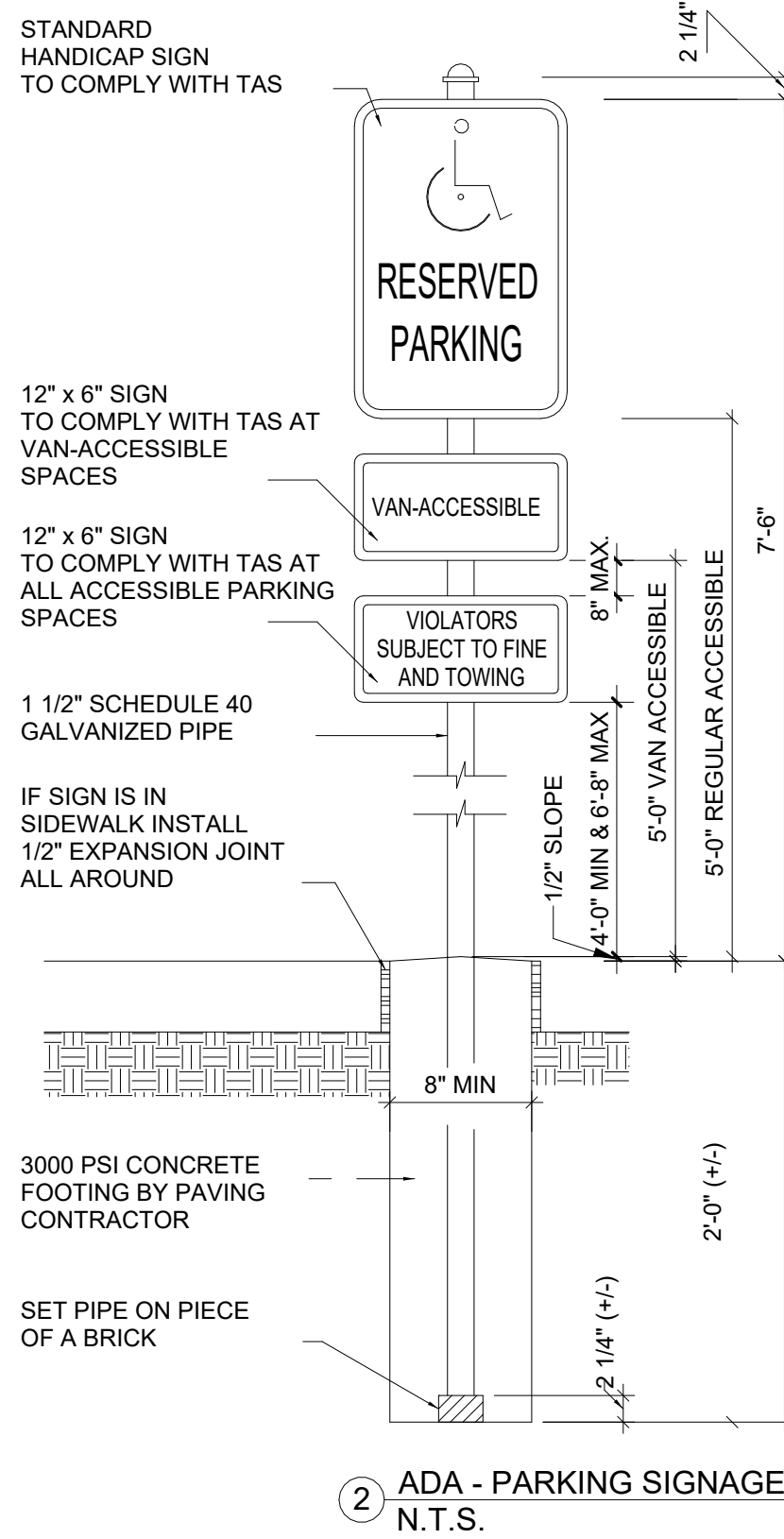


4 JOB SITE SIGN
N.T.S.

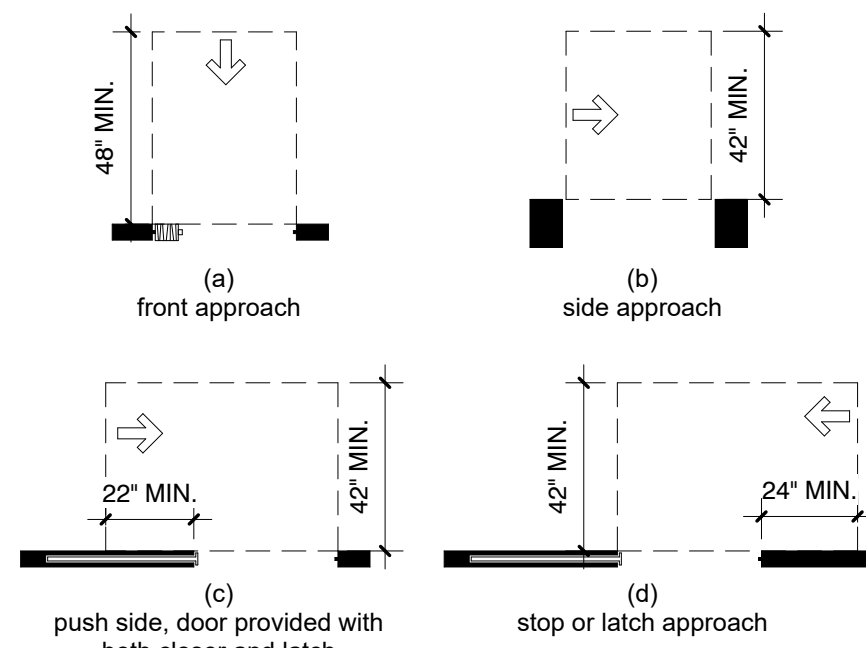
- COLOR AS CLOSE TO COUNTERTOP AS POSSIBLE BASED ON STANDARD COLORS.
- SIGNS THAT DESIGNATE PERMANENT ROOMS AND SPACES MUST COMPLY WITH REQUIREMENTS FOR CHARACTER PROPORTION, RAISED AND BRAILLED CHARACTERS AND PICTORIAL SYMBOLS SIGNS, FINISH AND CONTRAST, AND MOUNTING AND LOCATION HEIGHT.
- CHARACTER PROPORTION: CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 55 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I".
- RAISED AND BRAILLED CHARACTERS AND PICTORIAL SYMBOL SIGNS (PICTORGRAMS): LETTERS AND NUMERALS SHALL BE RAISED 1/32 IN. UPPERCASE, SANS SERIF AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8 IN. (16mm) HIGH, BUT NO HIGHER THAN 2 IN. (50mm). PICTORGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6 IN. (152mm) MINIMUM IN HEIGHT.
- FINISH AND CONTRAST: CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- MOUNTING LOCATION AND HEIGHT: WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ALONGSIDE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE INSTALLED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE INSTALLED TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGN SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18" MIN. BY 18" MIN., CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.



3 ADA - INTERIOR SIGNAGE SPECS
N.T.S.



2 ADA - PARKING SIGNAGE
N.T.S.

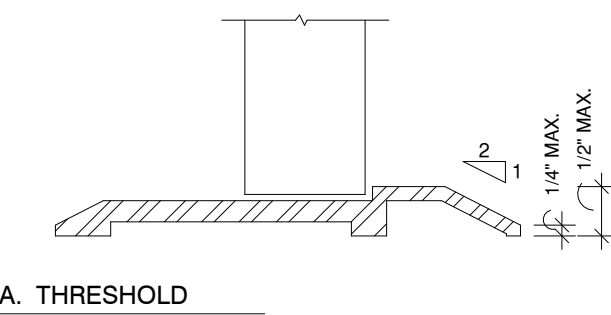


MANEUVERING CLEARANCE AT DOORWAYS WITHOUT DOORS,
SLIDING DOORS, GATES AND FOLDING DOORS

DOOR CRITERIA:

GENERAL NOTES:

- FLOOR OR GROUND SURFACE. FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCE SHALL BE STABLE FIRM, AND SLIP RESISTANT. CHANGES IN LEVEL ARE NOT PERMITTED.
- VISION LIGHTS, DOORS, GATES, AND SIDE LIGHTS ADJACENT TO DOOR OR GATES, SHALL HAVE THE BOTTOM OF AT LEAST ONE GLAZED PANEL LOCATED 43" MAX. ABOVE THE FINISH FLOOR



A. THRESHOLD

NOTES:

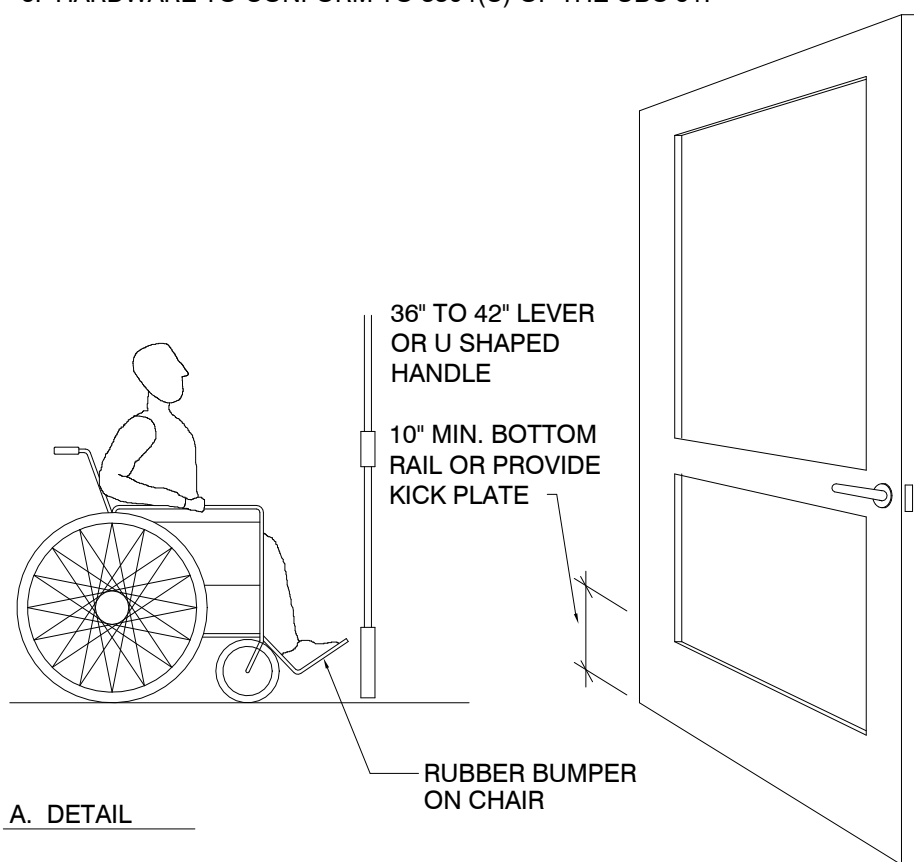
- 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.
- 1 : 2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.

DOOR TYPE:

- MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM, EITHER ATTACHED PANEL OR BOTTOM RAIL.

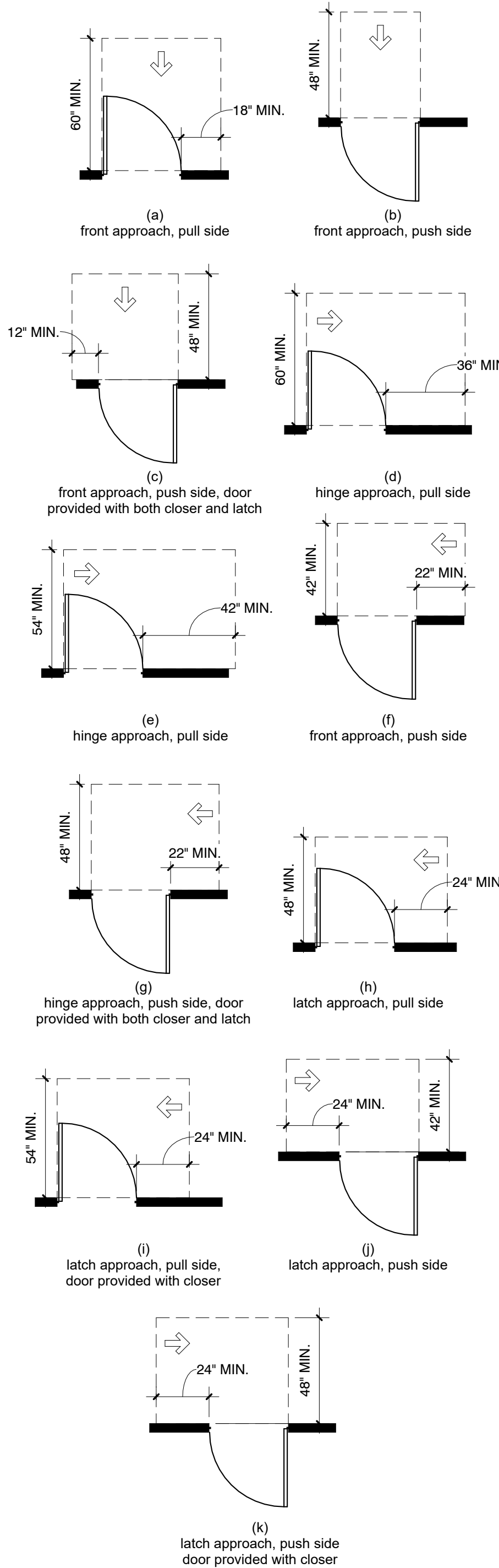
HARDWARE:

- OPERABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING).
- MOUNTED 36" TO 42".
- HARDWARE TO CONFORM TO 3304(C) OF THE UBC 91.

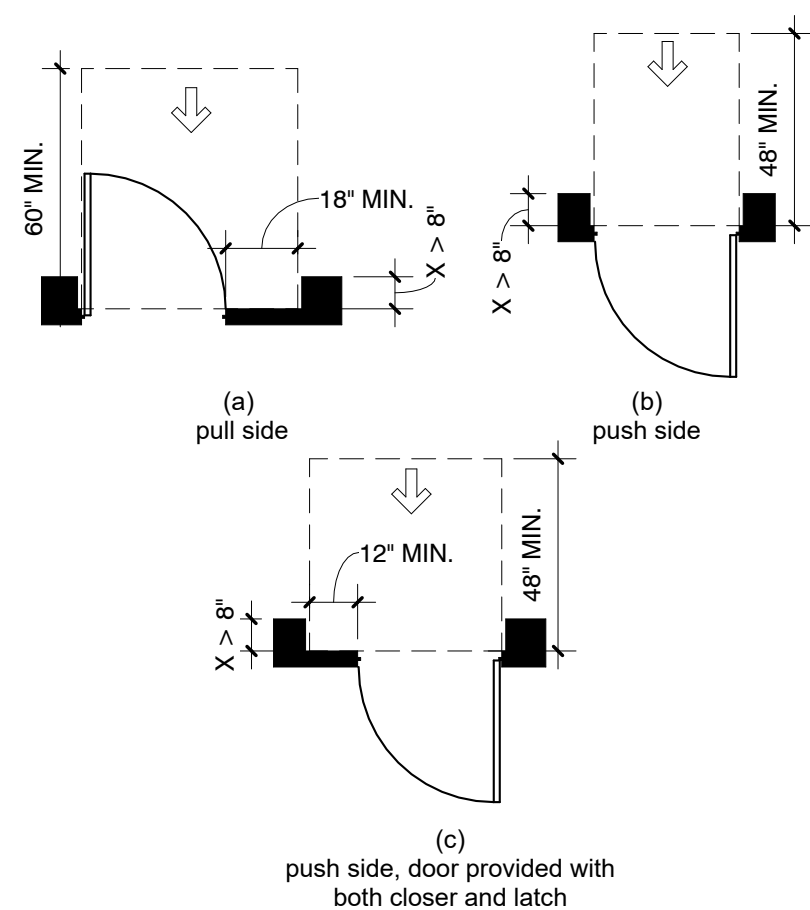


A. DETAIL

1 DOOR CRITERIA
N.T.S.



MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS AND GATES



MANEUVERING CLEARANCE AT RECESSED DOORS AND GATES

11.12.2025

PLUMBING SYMBOLS	
	SANITARY SEWER PIPING
	GREASE WATER PIPING
	SANITARY VENT PIPING
	COLD WATER PIPING
	HOT WATER PIPING
	HOT WATER RECIRCULATION PIPING
	SOFT WATER PIPING
	REVERSE OSMOSIS WATER PIPING
	GAS PIPING
	STORM DRAIN PIPING
	OVERFLOW DRAIN PIPING
	ACID RESISTANT WASTE PIPING
	ACID VENT PIPING
	CONDENSATE DRAIN PIPING
	PIPE ELBOW DOWN
	PIPE ELBOW UP
	PIPE UNION
	BALL VALVE
	GATE VALVE
	CHECK VALVE

ABBREVIATIONS

AD	ACCESS DOOR	LAT	LEAVING AIR TEMPERATURE
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
AFG	ABOVE FINISHED GRADE	MBD	MANUAL BLADE DAMPER
AHU	AIR HANDLING UNIT	MBH	1000 BTU PER HOUR
AR	ACID RESISTANT	MIN	MINIMUM
ATP	AUTOMATIC TRAP PRIMER	MTG	MOUNTING
AVTR	ACID VENT THROUGH ROOF	MYD	MANUAL VOLUME DAMPER
AW	ACID WASTE	NEW	NEW
BFP	BACKFLOW PREVENTER	NC	NOISE CRITERIA
BTUH	BRITISH THERMAL UNITS PER HOUR	NO.	NUMBER
CFH	CUBIC FEET PER HOUR	O.A.	OUTSIDE AIR
CFM	CUBIC FEET PER MINUTE	OAFGR	OUTSIDE AIR FILTER GRILLE
CLG	CEILING	OAGR	OUTSIDE AIR GRILLE
COM	COMMUNICATION CONDUIT	OPD	OPPOSED BLADE DAMPER
C.O.	CLEANOUT	OHF	OPEN HUB DRAIN
C.O.P.	COEFFICIENT OF PERFORMANCE	PD	PRESSURE DROP
CU	CONDENSING UNIT	P.O.C.	POINT OF CONNECTION
CW	DOMESTIC COLD WATER	R.A.	RETURN AIR
DB	DRY BULB	RAFGR	RETURN AIR FILTER GRILLE
DIFF	DIFUSER	RAGR	RETURN AIR GRILLE
DN	DOWN	RPM	REVOLUTIONS PER MINUTE
DSN	DOWNSPOUT NOZZLE	RTU	ROOF TOP UNIT
DWGS.	DRAWINGS	S.A.	SUPPLY AIR
DYCO	DOUBLE YARD CLEANOUT	SD	SLOT DIFFUSER
E.A.	EXHAUST AIR	SEER	SEASONAL ENERGY EFFICIENCY RATING
EAGR	EXHAUST AIR GRILLE	SHT	SHEET
EAT	ENTERING AIR TEMPERATURE	SOV	SHUT-OFF VALVE
EER	ENERGY EFFICIENCY RATING	SP	STATIC PRESSURE
EF	EXHAUST FAN	SPECS	SPECIFICATIONS
EFF.	EFFICIENCY	TSP	TOTAL STATIC PRESSURE
ESP	EXTERNAL STATIC PRESSURE	TYP	TYPICAL
EXIST(E)	EXISTING	UNO.	UNLESS NOTED OTHERWISE
FCO	FLOOR CLEANOUT	V	VENT
FLEX	FLEXIBLE	VIB	VALVE IN BOX
FPI	FINS PER INCH	VTR	VENT THROUGH ROOF
GCO	GRADE CLEANOUT	VVT	VARIABLE AIR VOLUME TERMINAL
GFCI	GROUND FAULT CIRCUIT INTERRUPT	W	WITH
HP	HORSE POWER	WB	WET BULB
HW	DOMESTIC HOT WATER	WCO	WALL CLEANOUT
KW	KILOWATTS	WG	WATER GAUGE
L	LOUVER	WHA	WATER HAMMER ARRESTER
		WP	WEATHER PROOF

MECHANICAL SYMBOLS

	AIR DEVICE IDENTIFICATION TAG
	HVAC EQUIPMENT. (REFER TO SCHEDULE.)
	HVAC EQUIPMENT ON ROOF OR NEXT LEVEL. (REFER TO SCHEDULE.)
	SPIN-IN COLLAR FITTING WITH VOLUME DAMPER
	SPIN-IN COLLAR FITTING
	DUCT WITH FIRE DAMPER
	DUCT WITH BACKDRAFT DAMPER
	DUCT WITH MOTORIZED DAMPER
	DUCT MOUNTED SMOKE DETECTOR
	DUCT WITH ACCESS DOOR
	SUPPLY AIR DIFFUSER
	RETURN OR TRANSFER AIR GRILLE
	EXHAUST GRILLE
	SHEET METAL DUCTWORK WITH 2" FSK WRAP. WRAP NOT SHOWN FOR CLARITY.
	FLEXIBLE DUCT
	THERMOSTAT/TEMPERATURE SENSOR, # DESIGNATES ASSOCIATED AHU.
	HUMIDISTAT
	CARBON DIOXIDE (CO ₂) SENSOR
	REFRIGERANT LIQUID PIPING
	REFRIGERANT SUCTION PIPING
	CHILLED WATER SUPPLY PIPING
	CHILLED WATER RETURN PIPING

SYMBOL LEGEND

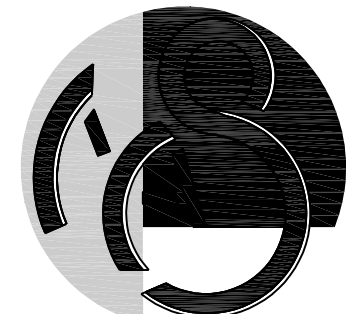
	SECTION
	DETAIL
	ELEVATION
	KEY NOTE
	REVISION

ELECTRICAL SYMBOLS

	LED L.T.S. FIXTURE (# DENOTES TYPE.)		125V, 20A, SINGLE RECEPTACLE @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT
	LED NITE LIGHT OR EMERGENCY LIGHT (# DENOTES TYPE.)		GROUND FAULT CIRCUIT INTERRUPTER, 125V, 20A, SINGLE RECEPTACLE @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT
	LED BARE LAMP STRIP. (# DENOTES TYPE.)		125V, 20A, DUPLEX RECEPTACLE @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT
	INCANDESCENT OR HID LT. FIXTURE (# DENOTES TYPE.)		GROUND FAULT INTERRUPTER, 125V, 20A, DUPLEX RECEPTACLE @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT
	WALL BRACKET INCANDESCENT OR HID FIXTURE (# DENOTES TYPE.)		WEATHER PROOF GROUND FAULT INTERRUPTER, 125V, 20A, DUPLEX RECEPTACLE @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT
	RECESSED INCANDESCENT OR HID FIXTURE.		GROUND FAULT INTERRUPTER, 125V, 20A, DUPLEX RECEPTACLE @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT
	CEILING MOUTED EXIT LIGHT WITH ARROWS AS INDICATED ON PLANS.		125V, 20A, DUPLEX RECEPTACLE WITH ISOLATED GROUND @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT.
	WALL MOUTED EXIT LIGHT WITH ARROWS AS INDICATED ON PLANS.		125V, 20A, QUADRAPLEX RECEPTACLE @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT.
	EMERGENCY LIGHT UNIT. (BATTERY)		125V, 20A, QUADRAPLEX RECEPTACLE WITH ISOLATED GROUND @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT.
	DIMMER TOGGLE SWITCH @ 48" A.F.F.		250V, RECEPTACLE @ 18" A.F.F., # REPRESENTS AMP. RATING, SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT.
	OCCUPANCY/DIMMER TOGGLE SWITCH @ 48" A.F.F.		RECEPTACLE IN FLOOR BOX. DEVICE AS NOTED, REFER TO PLAN
	DIMMER THREE WAY TOGGLE SWITCH @ 48" A.F.F.		RECEPTACLE IN SURFACE MOUNTED BOX. DEVICE AS NOTED, REFER TO PLAN
	DIMMER FOUR WAY TOGGLE SWITCH @ 48" A.F.F.		RECEPTACLE MOUNTED ON STRUCTURE. DEVICE AS NOTED, REFER TO PLAN
	DIMMER SWITCH (2000 WATT-RATING) @ 48" A.F.F.		JUNCTION BOX @ 18" AFF. ALTERNATE SUBSCRIPT DENOTES MOUNTING HEIGHT. C DENOTES CEILING MOUNTING.
	KEYED SWITCH @ 48" A.F.F.		JUNCTION BOX WALL MOUNTED.
	PANELBOARD. REFER TO PANEL SCHEDULES FOR FURTHER INFORMATION.		TELEVISION OUTLET @ 84" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT.
	SHUNT TRIP SWITCH		TELEPHONE OUTLET @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT.
	4\"/>		DATA OUTLET @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT.
	DIRECT EQUIPMENT CONNECTION		COMBINATION TELEPHONE/DATA OUTLET @ 18" A.F.F., SUBSCRIPT DENOTES ALTERNATE MOUNTING HEIGHT.
	HOME RUN CONDUIT/CIRCUIT WITH # OF WIRES AS INDICATED, NOTE: GROUND WIRE NOT SHOWN.		DISCONNECT/SAFETY SWITCH, F DENOTES FUSIBLE TYPE, NUMBER DENOTES FUSE RATING.
	ABOVE GRADE CONDUIT		COMBINATION STARTER/DISCONNECT SW.
	BELOW GRADE CONDUIT		CONDUIT TURNED DOWN

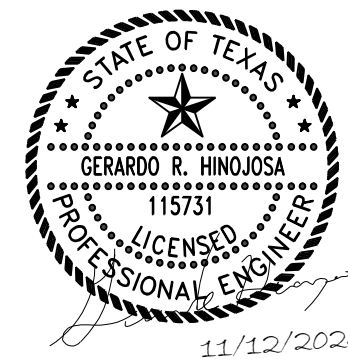
GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PURCHASING ALL REQUIRED PERMITS.
- IT IS THE INTENT OF THESE DOCUMENTS THAT A COMPLETE AND WORKABLE INSTALLATION BE PROVIDED. TO THIS END, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPERVISION, TRANSPORTATION, WAREHOUSING, AND OTHER SERVICES REQUIRED TO COMPLETE THE WORK IN AN EFFICIENT AND TIMELY MANNER.
- ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL CODES, LAWS, AND ORDINANCES, AND THE LATEST EDITION OF THE N.E.C. STANDARD MECHANICAL, PLUMBING, AND BUILDING CODES. WORK SHALL BE COMPLETED IN ALL RESPECTS AND IN ACCORDANCE WITH THE BEST ESTABLISHED AND ACCEPTED CONSTRUCTION PRACTICES.
- THE CONTRACTOR SHALL FURNISH, INSTALL/ERECT AND MAINTAIN FOR THE DURATION OF HIS WORK, ALL GUARD RAILS, LIGHTS, WARNING SIGNS, STAGING, VENTILATION, ECT. REQUIRED BY STATE AND LOCAL LAWS AND ORDINANCES, INCLUDING THE SAFETY ORDERS OF OSHA.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS. BY THE ACT OF SUBMITTING A BID, THIS CONTRACTOR ACCEPTS THE CONDITIONS UNDER WHICH HE WILL BE REQUIRED TO WORK.
- SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS AND SPECIFICATIONS WILL ONLY BE ACCEPTED AT THE TIME OF BIDDING AND ONLY WHEN SUBMITTED IN WRITING THREE DAYS PRIOR TO BID DATE. THE BURDEN OF PROOF THAT THE SUBSTITUTED ITEM IS EQUAL TO THE SPECIFIED ITEM RESTS WITH THE CONTRACTOR.
- THE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC TO THE EXTENT THAT ALL OFFSETS, BENDS, SPECIAL FITTINGS AND LOCATIONS ARE NOT EXACTLY LOCATED.
- ALL INDICATED DIMENSIONS ARE APPROXIMATE AND ARE GIVEN FOR ESTIMATE PURPOSES ONLY. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS, SIZES, REQUIRED CLEARANCES AND SHALL ASSUME FULL RESPONSIBILITY FOR THE FITTING OF ALL EQUIPMENT AND MATERIALS HEREIN REQUIRED TO OTHER PARTS OF THE WORK AND TO THE WORK OF OTHER TRADES.
- CONTRACTOR SHALL COMPLY WITH ALL CONTRACT DOCUMENTS IN LAYING OUT HIS WORK AND EQUIPMENT. HE SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND ALL JOB CONDITIONS.
- CONTRACTOR SHALL HAVE A COMPETENT SUPERINTENDENT PRESENT AT THE JOB SITE AT ALL TIMES, WITH AUTHORITY TO ACT FOR THE CONTRACTOR.
- ALL CONTRACTOR PERSONNEL WILL BE RESTRICTED TO THE PARTICULAR JOB SITE OF THIS CONTRACT.
- ALL MATERIALS SHALL BE NEW AND OF THE HIGHEST QUALITY.
- ANY APPARATUS, APPLIANCE, DEVICES, MATERIAL, OR WORK NOT SHOWN ON DRAWINGS BUT MENTIONED IN THE SPECIFICATIONS, OR VISE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND PERFECT IN ALL RESPECTS AND READY FOR TESTING AND OPERATION, EVEN IF NOT PARTICULARLY SPECIFIED, SHALL BE FURNISHED, DELIVERED, AND INSTALLED BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL MISCELLANEOUS IRON AND STEEL WORK REQUIRED TO PROPERLY INSTALL EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. WORK INCLUDES ALL HANGERS, SUPPORTS, RACKS, BRACKETS, AND ANY WELDING REQUIRED.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A DAILY RECORD OF ALL DEVIATIONS FROM THE BID DRAWINGS, ALL DIMENSIONS AND OTHER INFORMATION NECESSARY TO COMPLETELY EXPLAIN AND LOCATE ALL ELEMENTS OF THESE DEVIATIONS SHALL BE RECORDED. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER'S REPRESENTATIVE ONE COMPLETE SET OF REPRODUCIBLE (SEPIA) DRAWINGS CORRECTED TO REFLECT "AS-BUILT" CONDITIONS OF THE WORK.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL OR RUBBISH AND MAINTAIN THE WORK AREA IN A NEAT, ORDERLY MANNER, AND LEAVE THE PREMISES IN A BROOM-CLEAN CONDITION AT THE END OF EACH DAY. THE CONTRACTOR SHALL FURNISH TRASH BINS AND SHALL BE RESPONSIBLE FOR THE PROPER TRANSPORTATION AND DISPOSAL OF ALL WASTE MATERIAL.
- ANY INTERRUPTIONS AND/OR SHUTDOWN OF THE EXISTING SERVICES SHALL BE MADE ONLY WITH THE APPROVAL OF AND AT TIMES DESIGNATED BY THE OWNER.
- UPON COMPLETION OF WORK, THE CONTRACTOR SHALL DEMONSTRATE, TO THE OWNER'S SATISFACTION, THE OPERATION OF THE INSTALLED EQUIPMENT AND SYSTEMS TO THE INTENT OF THE DESIGN.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. DURING THIS PERIOD, ANY DEFECT FOUND IN MATERIAL OR WORKMANSHIP SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION, AT THE CONTRACTORS EXPENSE.
- THE OWNER SHALL RETAIN A RIGHT OF FIRST REFUSAL ON ALL REMOVED EQUIPMENT. IF THE OWNER CHOOSES TO WAIVE THIS RIGHT, ALL REMOVED EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- ALL WORK SHALL BE INSPECTED PRIOR TO COVER.
- INSURE THAT BUILDER HAS SEALED AND INSULATED PLENUM CAVITY.
- 2018 INTERNATIONAL BUILDING CODE, (IBC)
- 2018 INTERNATIONAL MECHANICAL CODE, (IMC)
- 2018 INTERNATIONAL PLUMBING CODE,(IPC)
- 2017 NATIONAL ELECTRICAL CODE,(NEC)
- 2015 INTERNATIONAL ELECTRICAL CODE (IEC)



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MCALLEN, TEXAS 78501
FIRM # 14580

STARR COUNTY COURTHOUSE
TEMPORARY HOUSING
INTERIOR BUILD-OUT
1920 US-83 RIO GRANDE CITY, TX.

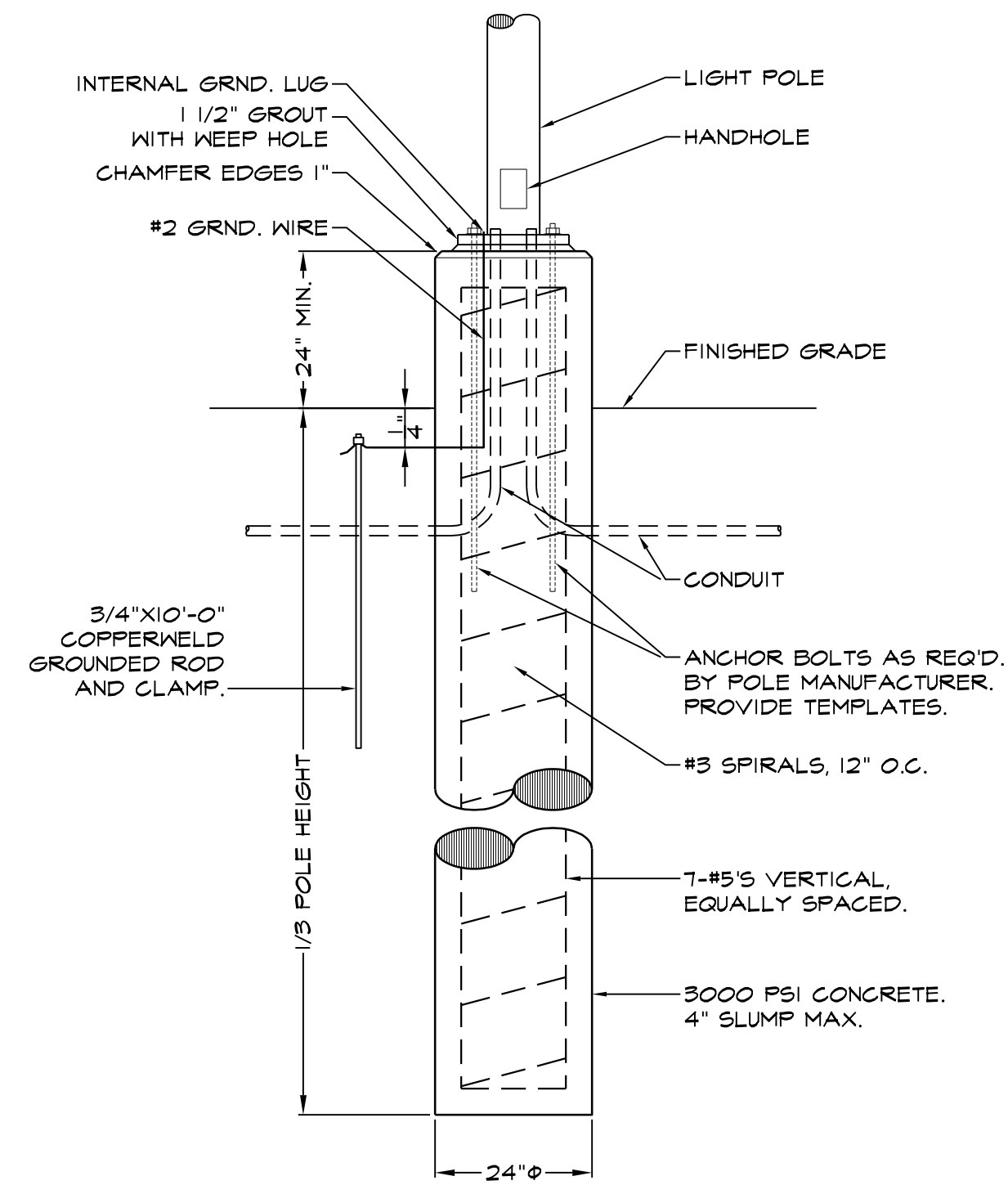
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11/12/2025

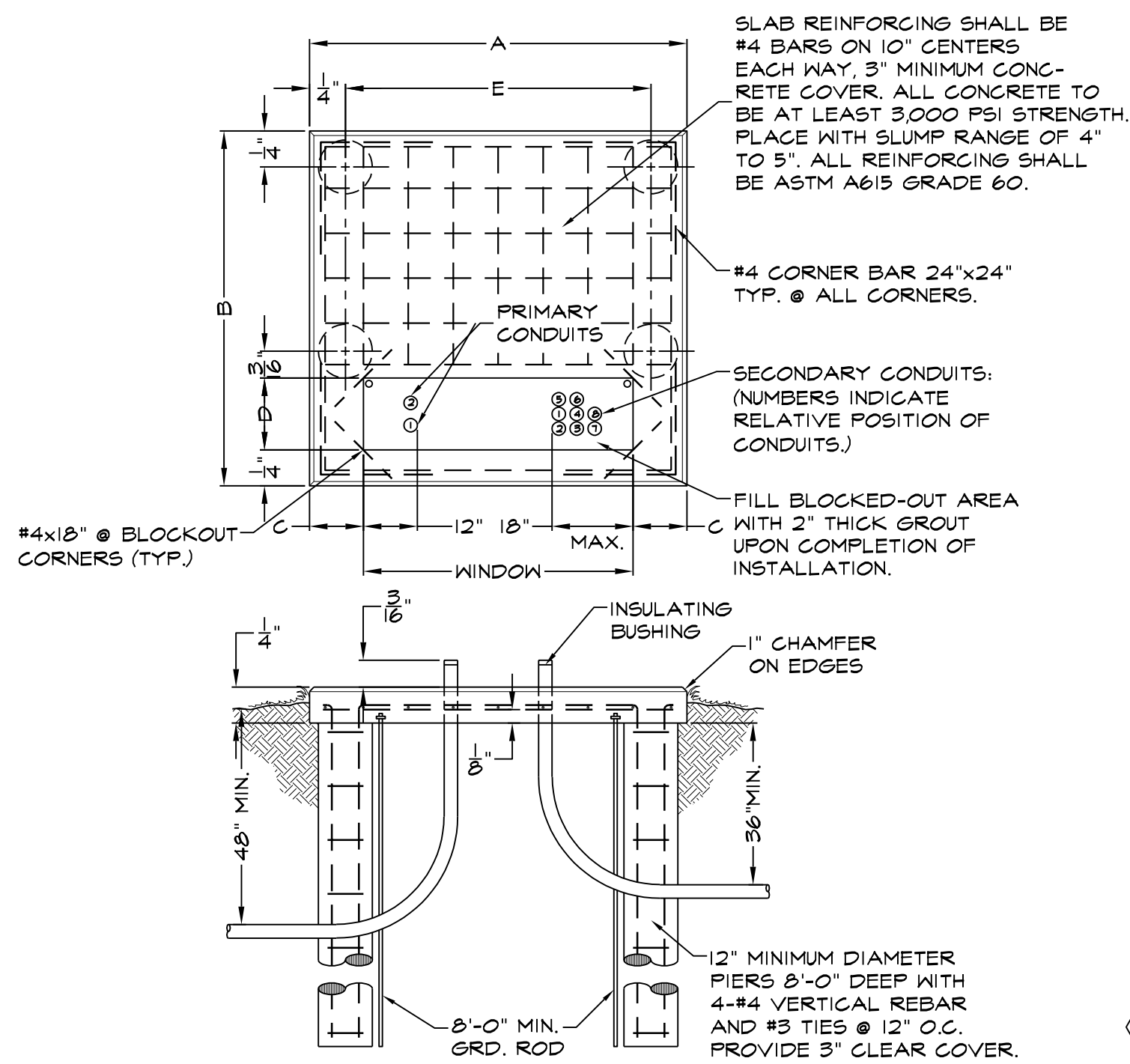
PROJECT STATUS
FOR PERMIT AND CONT.

SYMBOL
SHEET

MPE1.0



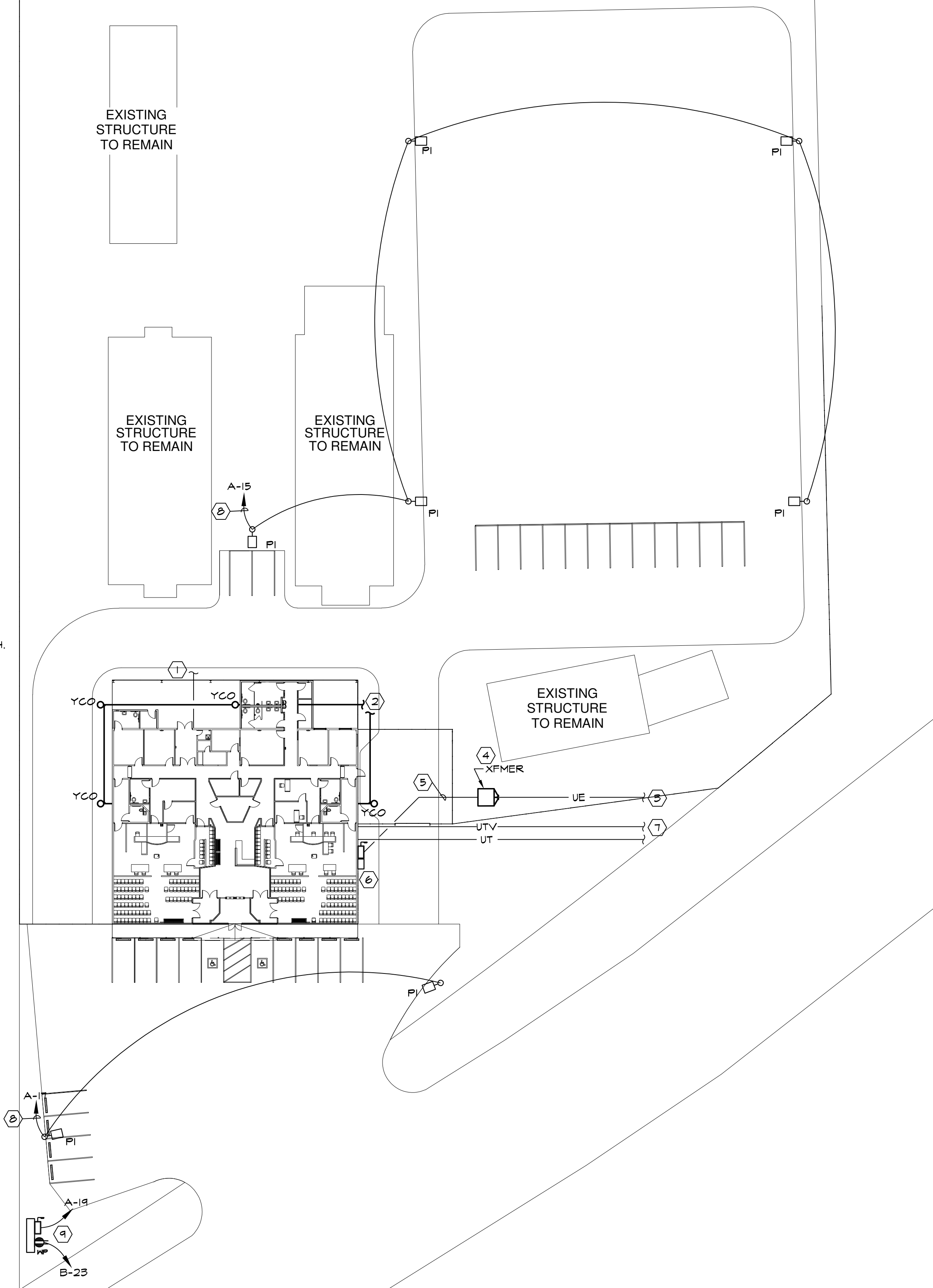
1 CONCRETE PIER DETAIL
NOT TO SCALE



SIZE KVA*	A	B	C	D	E	MAX. WEIGHT	WINDOW
75-500	72"	68"	12"	16"	56"	10,000#	48"
750-2500	84"	74"	12"	16"	68"	19,000#	60"

* SINGLE TRANSFORMER ONLY.

2 TRANSFORMER PAD DETAIL
NOT TO SCALE



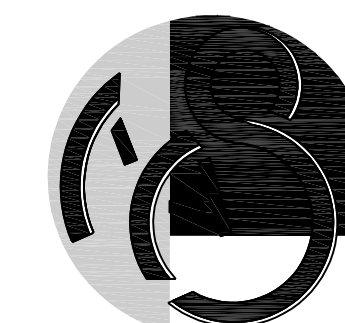
1 SITE PLAN
SCALE: 1" = 30'-0"

GENERAL NOTES:

- PROVIDE AND INSTALL YARD/GROUND CLEANOUTS A MAXIMUM OF 100'-0" ON CENTER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF ALL UTILITY SERVICES PRIOR TO BID/INSTALLATION.
- GENERAL CONTRACTOR SHALL CONTACT STARR COUNTY DIRECTOR OF PUBLIC WORKS. PLEASE CONSULT WITH CITY AND NOTE WHERE ALL UTILITIES WILL COME FROM AND HOW THEY WILL CONNECT PRIOR TO INSTALLATION.

KEY NOTES:

- ROUTE AND CONNECT NEW DOMESTIC COLD WATER LINE TO EXISTING COLD LINE. PLUMBING CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION. FIELD VERIFY EXISTING WATER METER LOCATION.
- CONNECT NEW SEWER LINE TO EXISTING SEPTIC TANKS. COORDINATE WITH PLUMBING CONTRACTOR FOR EXACT LOCATION. FIELD VERIFY EXACT LOCATION/REQUIREMENTS PRIOR TO COMMENCE WORK.
- RISE UP AT POWER COMPANY DIP POLE. ELECTRICAL CONTRACTOR SHALL COORDINATE POLE LOCATION PRIOR TO INSTALLATION WITH CIVIL DRAWINGS AND ELECTRIC SERVICE PROVIDER.
- NEW UTILITY COMPANY PAD MOUNTED TRANSFORMER. REFER TO DETAIL THIS SHEET.
- SECONDARY FEEDERS ROUTED TO ELECTRICAL SERVICES. REFER TO ELECTRICAL RISER DIAGRAM SHEET E4.1 FOR FEEDER SIZES/QUANTITIES.
- ELECTRICAL SERVICE. SEE ELECTRICAL RISER DIAGRAM SHEET E4.1.
- PROVIDE AND INSTALL 2-4" CONDUITS WITH FULL STRING FOR UNDERGROUND TELEVISION/TELEPHONE SERVICE ROUTE TO BUILDING ROOM STORAGE.
- CONTROL LIGHTING CIRCUIT VIA A 7-DAY, 24-HOUR, PROGRAMMABLE, ASTRONOMICAL, DIGITAL, TIME CLOCK/PHOTO CELL COMBINATION.
- PROVIDE AND INSTALL A NEMA-3R JUNCTION BOX FOR ELECTRICAL SERVICE TO SIGN. MAKE FINAL CONNECTIONS.



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STARR COUNTY COURTHOUSE
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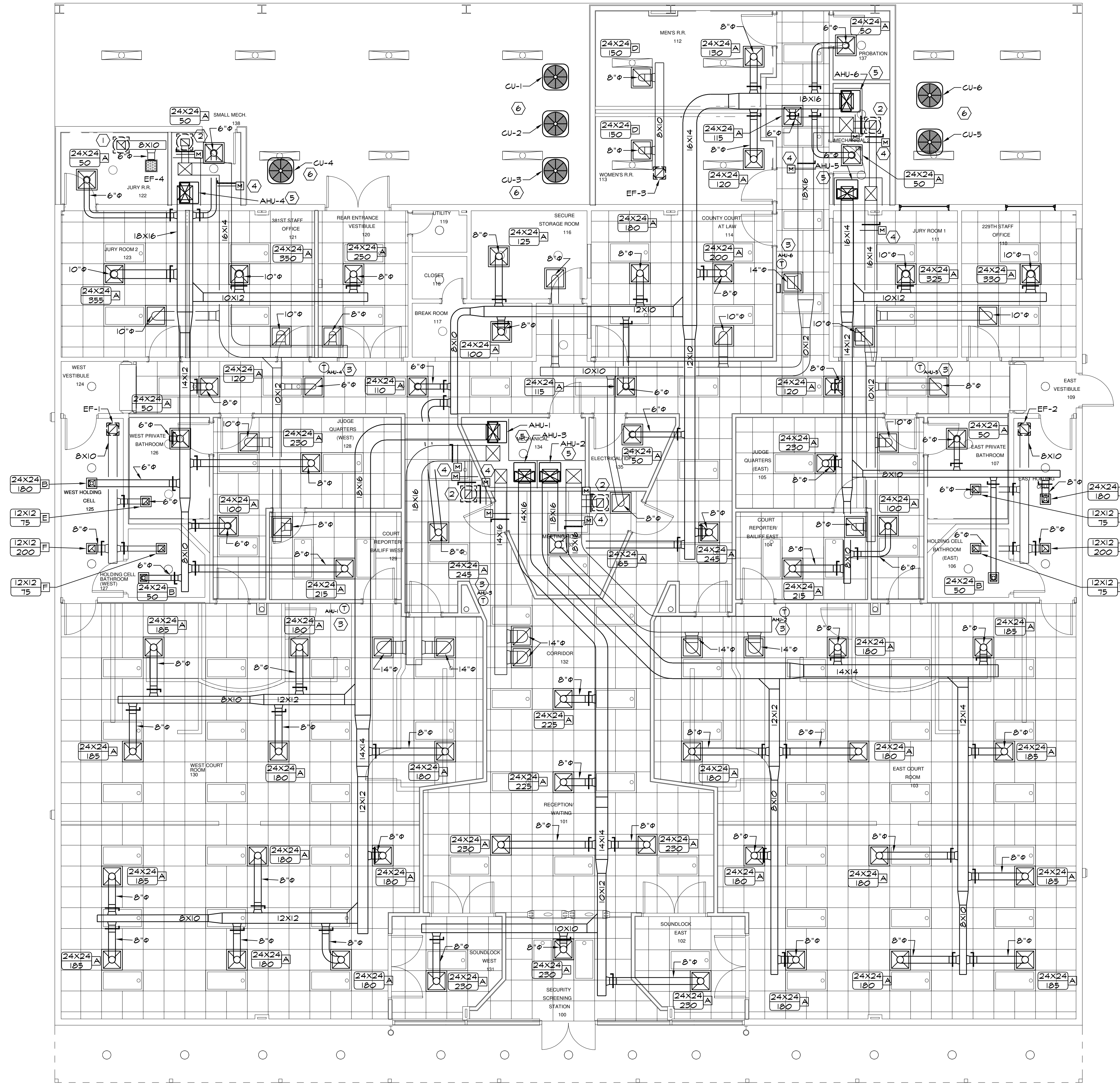
PROJECT NUMBER
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DATE
11/12/2025

PROJECT STATUS
FOR PERMIT AND CONT.

SITE
PLAN

MPE2.0



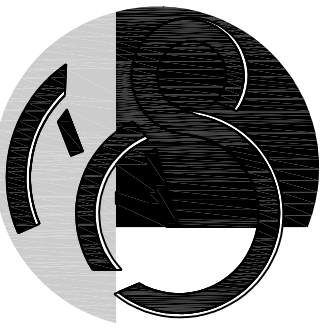
1 MECHANICAL PLAN
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- ROUTE 3/4" CONDENSATE DRAIN LINE FROM ROOFTOP UNITS TO PLUMBER PROVIDED HUB DRAINS. COORDINATE EXACT LOCATION OF HUB DRAINS WITH PLUMBING CONTRACTOR.
- PROVIDE SMOKE & HEAT DETECTORS IN SUPPLY AND RETURN DUCTWORK AS REQUIRED BY GOVERNING CODE.
- PROVIDE FIRE DAMPERS AS INDICATED ON DRAWINGS, AND ADDITIONAL DAMPERS AS REQUIRED BY CODE & OTHER GOVERNING AUTHORITIES.
- COORDINATE HANG HEIGHTS/ROUTING WITH ALL AFFECTED BUILDING TRADES.
- PROVIDE FLEX CONNECTIONS AT ALL MECHANICAL EQUIPMENT.
- INSULATE ALL SUPPLY & RETURN AIR DUCTWORK - MIN 2" EXTERNAL FSK WRAP.
- PROVIDE ALL NECESSARY BALANCING DAMPERS.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL HVAC ELECTRICAL REQUIREMENTS WITH ELECTRICIAN PRIOR TO THE INSTALLATION OF ELECTRICAL SERVICE.
- UNDER CUT ALL INTERIOR DOORS 1".
- UNLESS OTHERWISE NOTED ALL RETURN AIR GRILLES ARE 24X24 TYPE C.

KEY NOTES:

- WEATHERPROOF METAL ROOF CAP FOR EXHAUST SYSTEM. REFER TO PLAN FOR DUCT SIZE AND ROUTING.
- WEATHERPROOF METAL ROOF CAP FOR OUTSIDE AIR SYSTEM. REFER TO PLAN FOR DUCT SIZE AND ROUTING. FIELD VERIFY EXACT LOCATION WITH EXISTING CONDITIONS.
- MECHANICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR THERMOSTATS LOCATION. MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL LOCKBOX FOR THERMOSTATS. PROVIDE 7-DAY PROGRAMMABLE.
- PROVIDE MOTORIZED AND MANUAL VOLUME DAMPERS ON OUTSIDE AIR DUCT AND RETURN DUCT.
- PROVIDE AIRTIGHT RETURN AIR PLENUM BOX FOR ALL AHU'S. SIT UNIT ABOVE A 2" FILTER BOX.
- PROVIDE AND INSTALL 4" CONCRETE PAD FOR CONDENSING UNIT. ANCHOR CONDENSING UNIT TO GROUND AS PER MANUFACTURE RECOMMENDATIONS. MECHANICAL CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF CONDENSING UNIT WITH GENERAL CONTRACTOR PRIOR TO COMMENCE WORK.



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STARR COUNTY COURTHOUSE
TEMPORARY HOUSING
INTERIOR BUILD-OUT
1920 US-83 RIO GRANDE CITY, TX.

PROJECT NUMBER
2523

DATE
11/12/2025

PROJECT STATUS
FOR PERMIT AND CONT.

MECHANICAL
PLAN

M1.1

RESTROOMS EXHAUST FAN SCHEDULE

SYSTEM	TAG	TYPE	CFM	ESP	HP	RPM	ELEC. CHAR.	REF. SPEC. COOK MODEL	REMARKS
RESTROOMS WEST	EF-1	ROOF	350	0.375	.167	1229	120V/1Ø	ACEB-80	123,457
RESTROOMS EAST	EF-2	ROOF	350	0.375	.167	1229	120V/1Ø	ACEB-80	123,458
RESTROOMS	EF-3	ROOF	300	0.375	.167	1158	120V/1Ø	ACEB-80	123,459
JURY RESTROOM	EF-4	CEILING	75	0.375	.60W	1834	120V/1Ø	GC-124	123,46

- NOTES:
- ALUMINUM GRILLE
 - ISOLATORS
 - FLEX DUCT CONNECTORS
 - BACKDRAFT DAMPER
 - PROVIDE ROOF CURB.
 - CONNECT WITH LIGHTS WALL SWITCH
 - INTERLOCK EF-1, WITH AHU-4
 - INTERLOCK EF-2, WITH AHU-5
 - INTERLOCK EF-3, WITH AHU-6

DIFFUSER SCHEDULE

SYMBOL	SERVICE	LOCATION	BLOW PATTERN	CONTROL DEVICE	MOUNTING FRAME	FINISH	MODULE SIZE	REF. SPEC. TITUS MODEL
A	SUPPLY	CEILING	4-WAY	---	LAY-IN	WHITE	24"X24"	OMNI-AA
B	SUPPLY	CEILING	4-WAY	---	RECESSED	WHITE	12"X12"	SG-SD
C	RETURN	CEILING	---	---	LAY-IN	WHITE	24"X24"	50F
D	EXHAUST	CEILING	---	---	LAY-IN	WHITE	24"X24"	50F
E	EXHAUST	CEILING	---	---	LAY-IN	WHITE	12"X12"	50F
F	EXHAUST	CEILING	---	---	LAY-IN	WHITE	12"X12"	SG-PRT

- NOTES:
- PROVIDE PLASTER FRAME AS REQUIRED AT GYP. CEILINGS.
 - PROVIDE FIRE RATED DAMPERS AT ALL FIRE RATED CEILINGS.

AIR HANDLING UNIT SCHEDULE

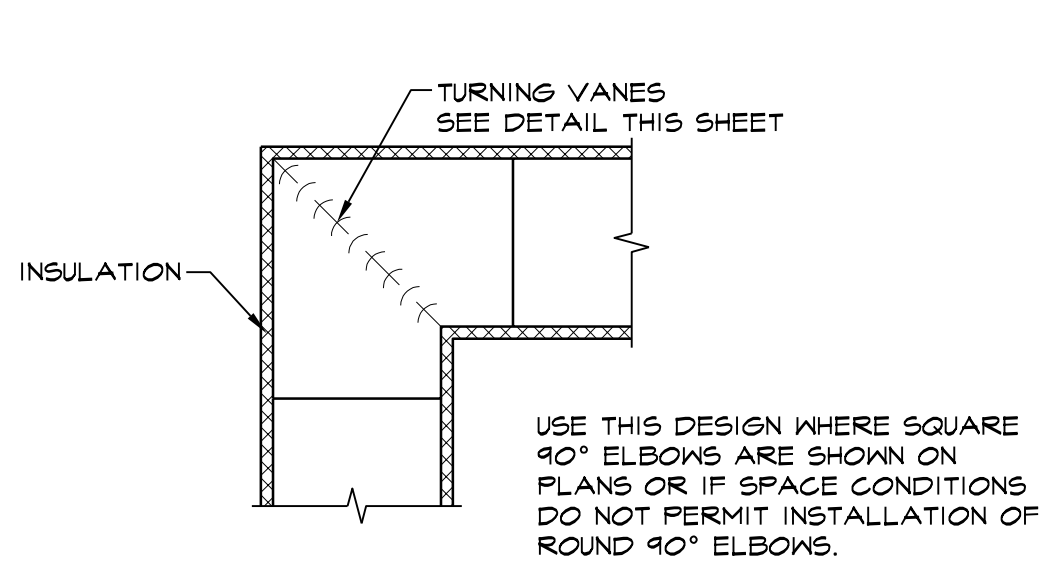
UNIT NO.	NOMINAL TONS	TYPE	FUEL	O.A.	CFM	E.S.P.	HEATING		BLOWER		MCA	MOCP	REF. SPEC. GOODMAN MODEL
							KW	ELEC. CHAR. F.L.A.	HP	ELEC. CHAR. F.L.A.			
AHU-1	5.0	VERT.	ELEC.	200	2000	.4	10.0	208V/1Ø 34.7	1.0	208V/1Ø 6.9	52.0	60	AMST60
AHU-2	5.0	VERT.	ELEC.	200	2000	.4	10.0	208V/1Ø 34.7	1.0	208V/1Ø 6.9	52.0	60	AMST60
AHU-3	4.0	VERT.	ELEC.	160	1600	.4	10.0	208V/1Ø 34.7	3/4	208V/1Ø 5.7	50.5	60	AMST48
AHU-4	5.0	VERT.	ELEC.	200	2000	.4	10.0	208V/1Ø 34.7	1.0	208V/1Ø 6.9	52.0	60	AMST60
AHU-5	4.0	VERT.	ELEC.	160	1600	.4	10.0	208V/1Ø 34.7	3/4	208V/1Ø 5.7	50.5	60	AMST48
AHU-6	5.0	VERT.	ELEC.	200	2000	.4	10.0	208V/1Ø 34.7	1.0	208V/1Ø 6.9	52.0	60	AMST60

CONDENSING UNIT SCHEDULE

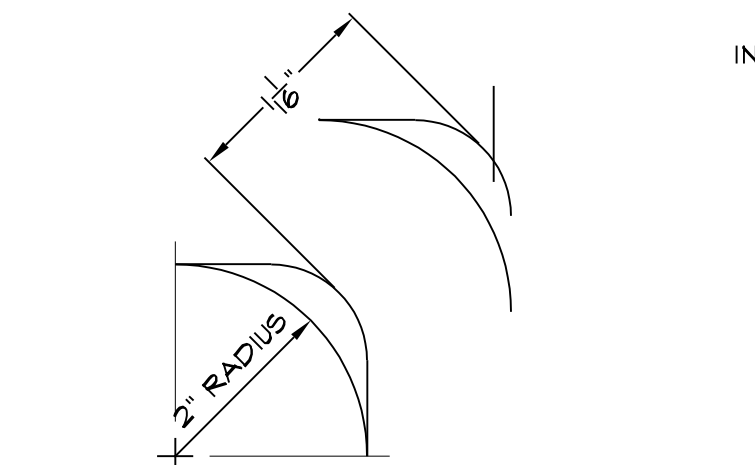
UNIT NO.	TOTAL COOL CAP (KBTUH)	SENS. COOL CAP (KBTUH)	ENTERING DB/WB (°F)	O.A. TEMP (°F)	ELECTRICAL CHARACTERISTICS	COMPRESSOR R.L.A.	FAN MOTOR F.L.A. (ea.)	MCA	MOCP	EER (SEER2)	REF. SPEC. GOODMAN MODEL
CU-1	56.0	43.0	80/67	98	208V/1Ø	23.9	2.6	32.4	50	(14.5)	GLXS4BA60I
CU-2	56.0	43.0	80/67	98	208V/1Ø	23.9	2.6	32.4	50	(14.5)	GLXS4BA60I
CU-3	44.7	38.7	80/67	98	208V/1Ø	19.4	0.95	25.2	40	(14.5)	GLXS4BA48I
CU-4	56.0	43.0	80/67	98	208V/1Ø	23.9	2.6	32.4	50	(14.5)	GLXS4BA60I
CU-5	44.7	38.7	80/67	98	208V/1Ø	19.4	0.95	25.2	40	(14.5)	GLXS4BA48I
CU-6	56.0	43.0	80/67	98	208V/1Ø	23.9	2.6	32.4	50	(14.5)	GLXS4BA60I

INSTALLATION NOTES

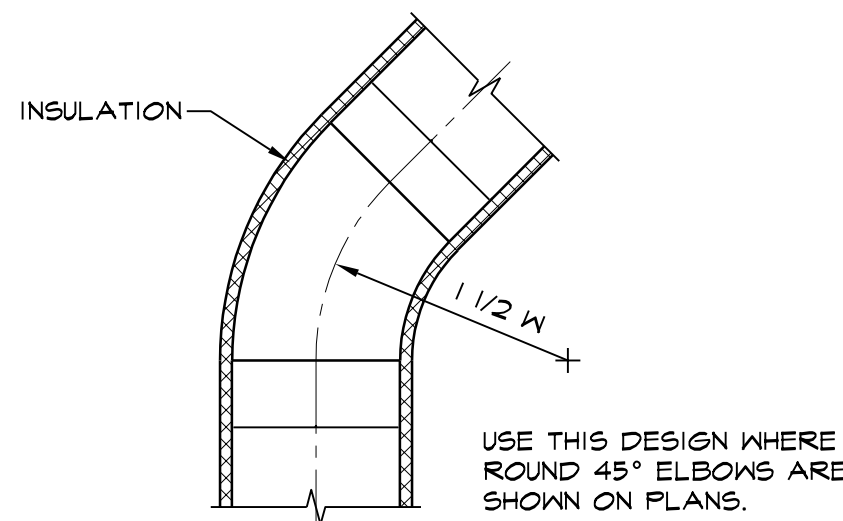
- ALL DUCTS SHALL BE CONSTRUCTED AND ERECTED IN A NEAT AND WORKMANLIKE MANNER.
- DUCTS SHALL BE CONSTRUCTED OF THE WEIGHTS, GAGES AND MATERIAL SHOWN IN THE SCHEDULE ON THESE DRAWINGS OR AS RECOMMENDED BY SMACNA.
- THE DIMENSIONS SHOWN FOR ALL DUCTS SHOWN IN PLAN GIVE THE WIDTH FIRST AND THEN THE HEIGHT.
- AIR TURN VANES SHALL BE INSTALLED IN ALL ABRUPT ELBOWS TO PREVENT TURBULENCE.
- DUCTS SHALL BE SECURELY ATTACHED TO THE BUILDING STRUCTURE IN AN APPROVED MANNER.
- DIVERGING TRANSITION PIECES SHALL BE MADE AS GRADUAL AS POSSIBLE.
- ACCESS PANELS SHOULD BE PLACED BEFORE AND/OR AFTER EQUIPMENT INSTALLED IN THE DUCT.
- DUCT AREA SHOULD NOT BE DECREASED MORE THAN 10 PERCENT WHEN OBSTRUCTIONS CANNOT BE AVOIDED , AND THEN A STREAMLINED FITTING SHOULD BE USED.
- FLEXIBLE CLOTH CONNECTIONS SHOULD BE USED ON BOTH THE INLET AND OUTLET TO ALL FANS.
- JOINTS AND SEAMS OF SUPPLY DUCTS SHALL BE FASTENED SECURELY AND MADE AIR TIGHT.
- ALL DUCT LINER (MIN. 1") SHALL CONFORM TO ASHRAE AND SMACNA STANDARDS. LINER SHALL HAVE GALVANIZED METAL "NONE" EDGING ON LEADING EDGES. "BUTTER" ALL EDGES AND REPLACE ANY DAMAGED SURFACES PRIOR TO INSTALLATION. CERTAINTED OR EQUIVALENT - 3 LB. DENSITY.
- LINE SUPPLY AND RETURN AIR DUCTWORK IS' FROM ALL FANS.
- PREP AND TREAT PIPING TO PREVENT CORROSION PRIOR TO INSULATION.
- ALL DUCT LONGITUDINAL JOINTS SHALL BE TYPE PITTSBURGH SEAM.
- DUCT JOINT MITERING SHALL NOT BE ALLOWED.
- TDG TYPE MECHANICAL DUCT CONNECTIONS PREFERRED.
- ANY "TAKE-OFFS" SHALL BE MIN. 12" FROM ANY FITTINGS (TRANSITIONS, ELBOWS, END CAPS BRANCH DUCTS, ETC.).
- MAIN & BRANCH DUCT BALANCING DAMPERS SHALL BE OPPOSED BLADE DAMPERS. SPLITTER DAMPERS, EXTRACTORS, ETC. NOT ALLOWED.
- BUTTON OR SNAP LOCK DUCT CONSTRUCTION NOT ALLOWED.
- PROVIDE SMOKE DETECTOR/SHUT DOWN ON RETURN AIR SIDE OF EACH RTU.
- PROVIDE TEST AND BALANCED CERTIFIED REPORT.



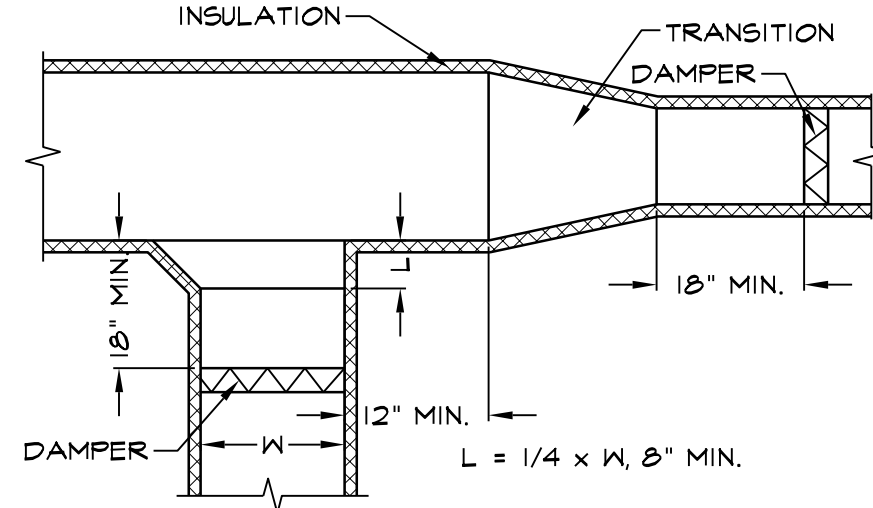
6 RECTANGULAR DUCT SQUARE 90° ELBOW NOT TO SCALE



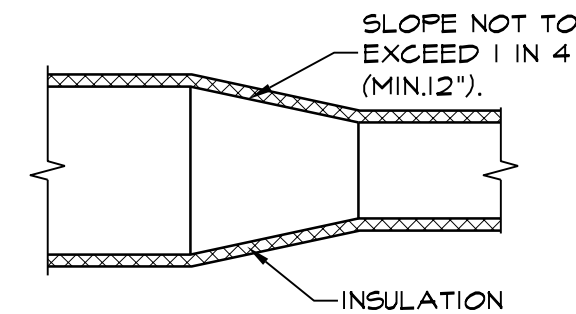
5 DOUBLE-THICKNESS TURNING VANES NOT TO SCALE



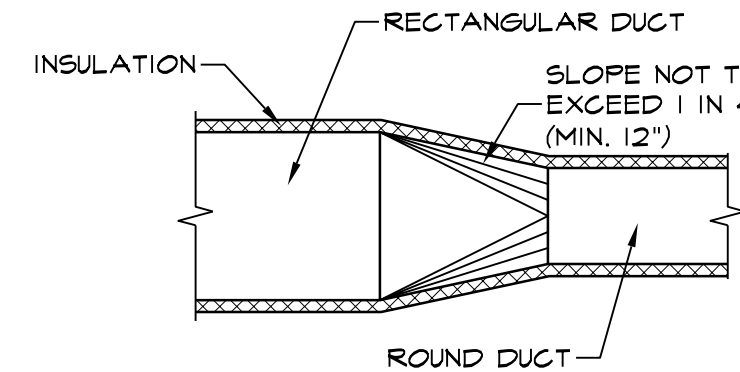
4 RECTANGULAR DUCT 45° RADIUS ELBOW NOT TO SCALE



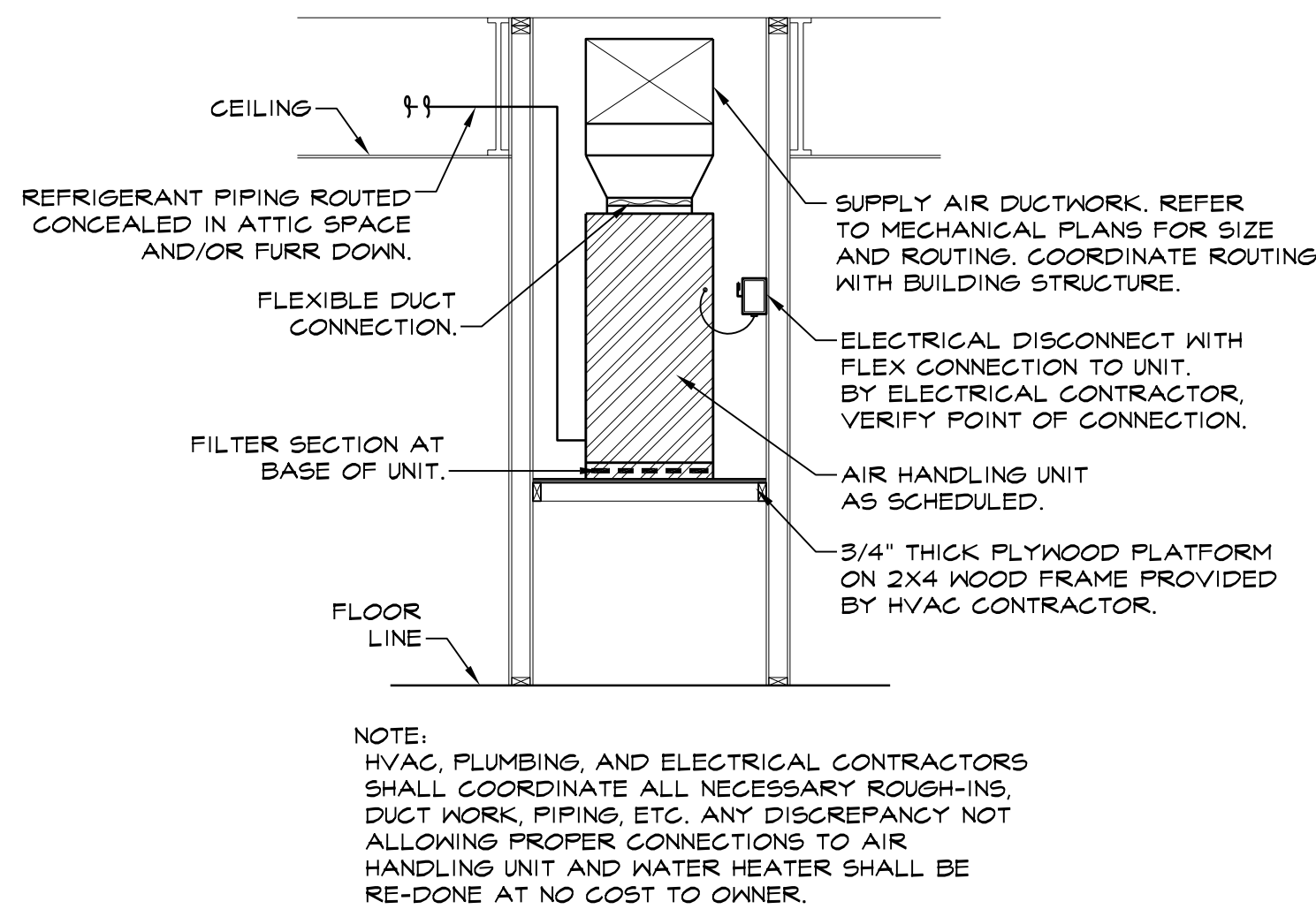
3 45° BRANCH DUCT NOT TO SCALE



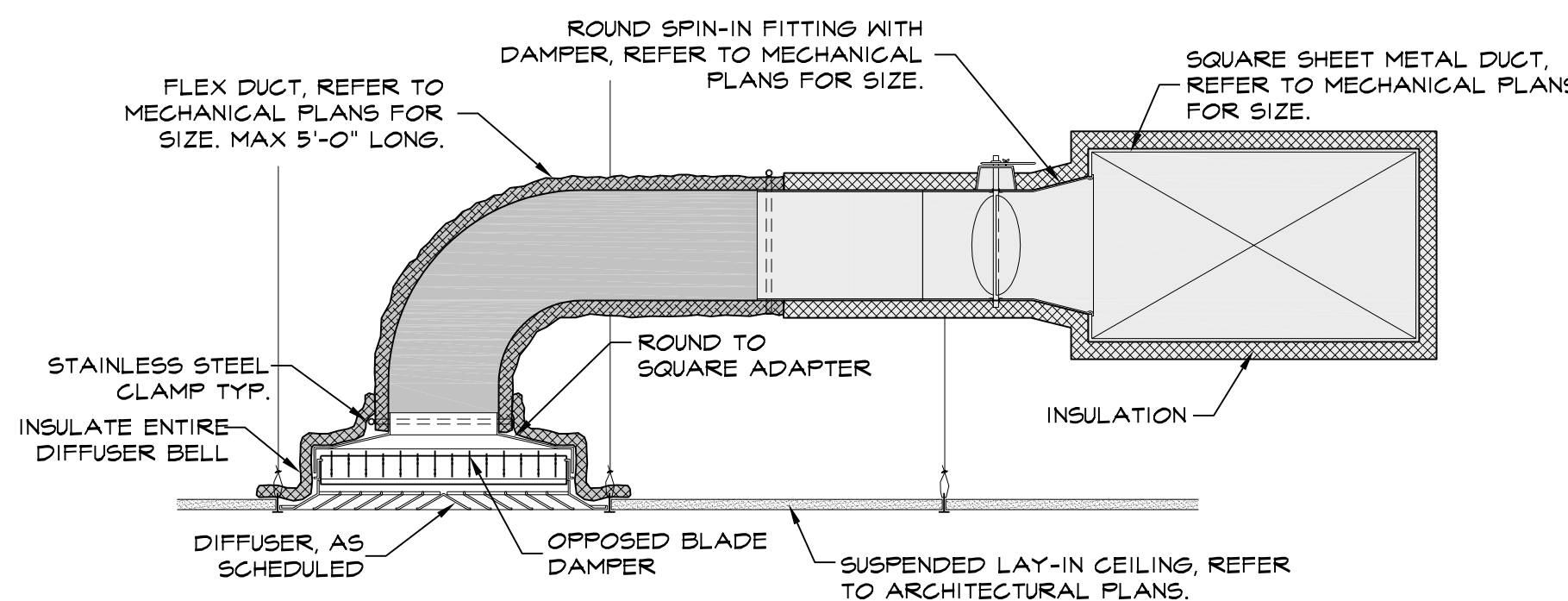
2 RECTANGULAR TRANSITION DETAIL NOT TO SCALE



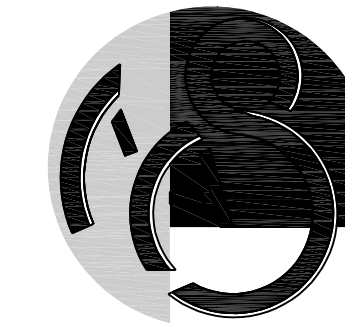
1 RECTANGULAR TO ROUND TRANSITION DETAIL NOT TO SCALE



8 AIR HANDLING UNIT DETAIL NOT TO SCALE



7 TYPICAL DIFFUSER INSTALLATION NOT TO SCALE



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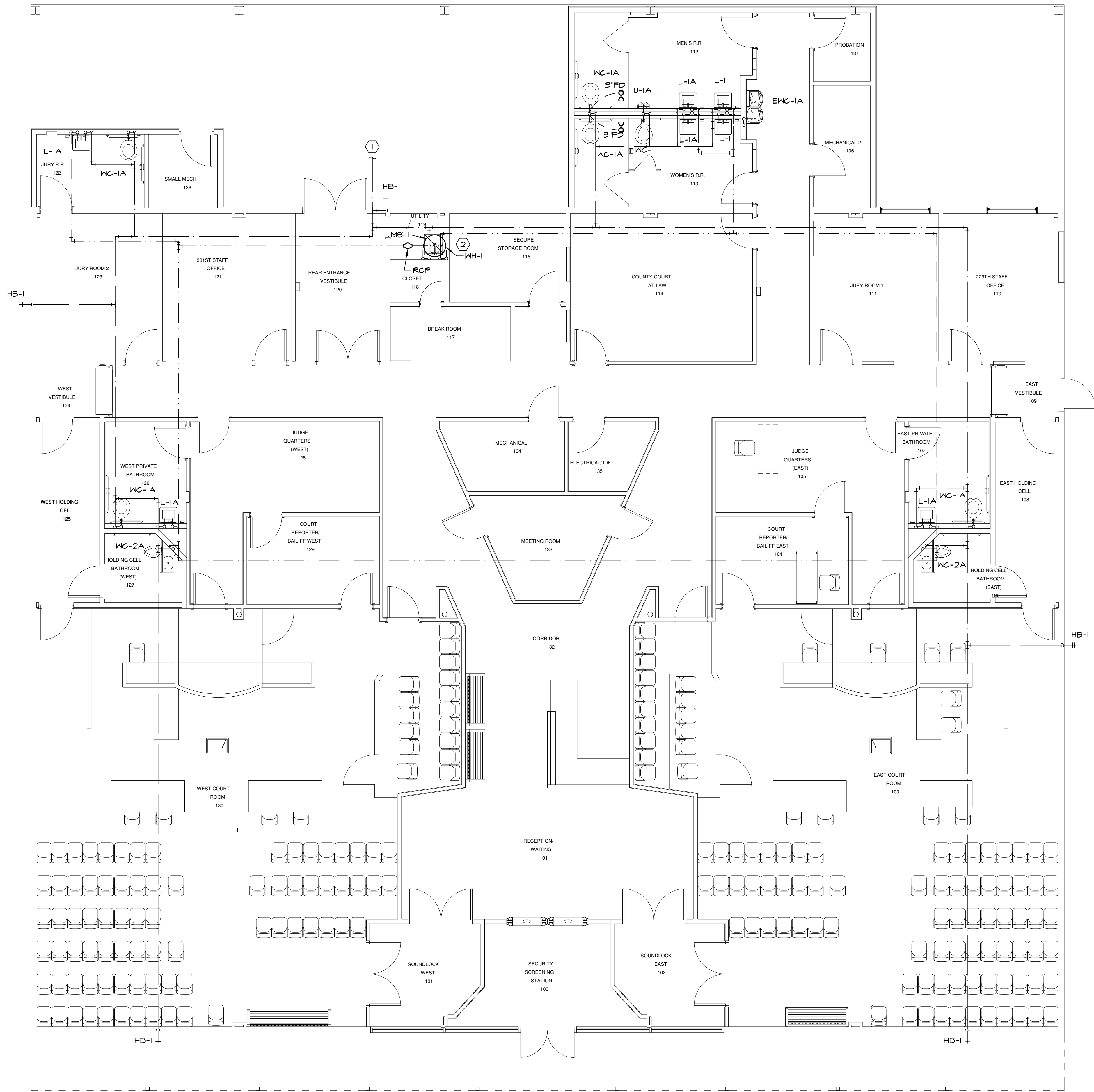
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MECHANICAL
SCHEDULES

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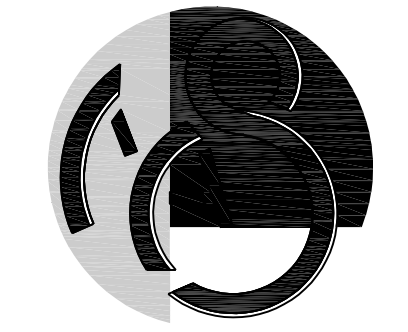
DOMESTIC WATER
PLUMBING PLAN
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- A. COORDINATE EXACT LOCATION OF FLOOR DRAINS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
- B. COORDINATE EXACT LOCATION OF SANITARY SEWER, AND COLD WATER STUB UPS IN FLOOR, AND STUB THROUGH WALLS FOR PLUMBING FIXTURES PRIOR TO INSTALLATION.
- C. PLUMBING CONTRACTOR IS RESPONSIBLE TO MAKE FINAL CONNECTION TO MAIN SITE UTILITIES.
- D. INFORMATION ON THIS SHEET HAS BEEN TAKEN FROM RECORD DRAWINGS AND SITE SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
- E. PLUMBING CONTRACTOR SHALL SAW CUT EXISTING CONCRETE FLOOR AS REQUIRED AND SHALL PATCH FLOOR AS PER TENANT REQUIREMENTS OR SHALL MATCH EXISTING FLOOR. FIELD VERIFY EXACT LOCATION PRIOR TO SAW CUTTING FLOOR.

KEY NOTES:

- ① ROUTE AND CONNECT NEW DOMESTIC COLD WATER LINE TO EXISTING COLD LINE, PLUMBING CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION. FIELD VERIFY EXISTING WATER METER LOCATION.
- ② ELECTRIC WATER HEATER, REFER TO FIXTURE SCHEDULE AND DETAIL FOR FURTHER INFORMATION.
- ③ ROUTE 1/2" PIPING TRAP PRIMER FROM WATER CLOSET FLUSH VALVE TO FLOOR DRAIN BELOW SLAB.



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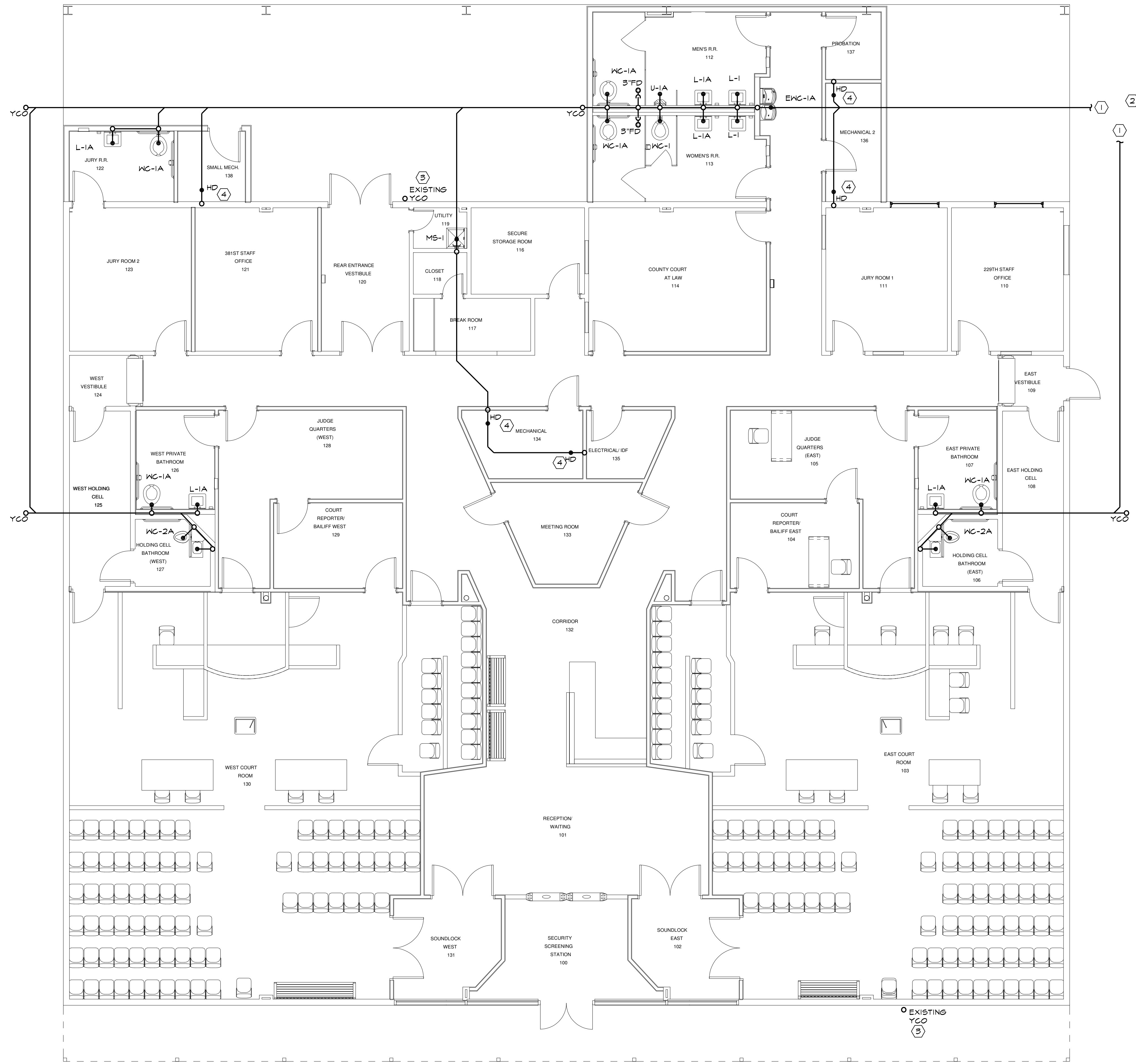
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PLUMBING
DOMESTIC WATER
PLAN

P1.1



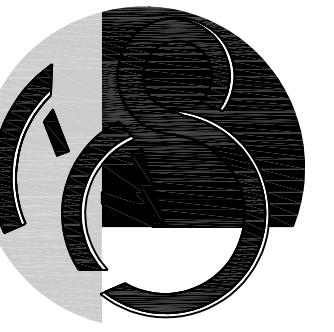
① SEWER PLAN
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- COORDINATE EXACT LOCATION OF FLOOR DRAINS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
- COORDINATE EXACT LOCATION OF SANITARY SEWER, AND COLD WATER STUB UPS IN FLOOR, AND STUB THROUGH WALLS FOR PLUMBING FIXTURES PRIOR TO INSTALLATION.
- PLUMBING CONTRACTOR IS RESPONSIBLE TO MAKE FINAL CONNECTION TO MAIN SITE UTILITIES.
- INFORMATION ON THIS SHEET HAS BEEN TAKEN FROM RECORD DRAWINGS AND SITE SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
- PLUMBING CONTRACTOR SHALL SAW CUT EXISTING CONCRETE FLOOR AS REQUIRED AND SHALL PATCH FLOOR AS PER TENANT REQUIREMENTS OR SHALL MATCH EXISTING FLOOR. FIELD VERIFY EXACT LOCATION PRIOR TO SAW CUTTING FLOOR.

KEY NOTES:

- CONNECT NEW SEWER LINE TO EXISTING SEPTIC TANKS. COORDINATE WITH PLUMBING CONTRACTOR FOR EXACT LOCATION. FIELD VERIFY EXACT LOCATION/REQUIREMENTS PRIOR TO COMMENCE WORK.
- PLUMBING CONTRACTOR SHALL FIELD VERIFY EXACT SIZE OF SEPTIC TANKS. PROVIDE MAINTENANCE FOR PROPER OPERATION. PROVIDE WRITTEN RECOMMENDATIONS FOR EXISTING SEPTIC TANKS PRIOR TO COMMENCE WORK.
- PLUMBING CONTRACTOR SHALL FIELD VERIFY EXISTING SEWER ROUTING PRIOR TO COMMENCE WORK. CLEAN SEWER LINE AS REQUIRED. CAP ALL UNUSED SEWER STUB UPS.
- 2" HUB DRAIN LOCATED ABOVE A/C UNIT RETURN AIR PLENUM PLATFORM. COORDINATE HEIGHT AND LOCATION REQUIREMENTS WITH HVAC CONTRACTOR.



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PLUMBING SEWER
PLAN

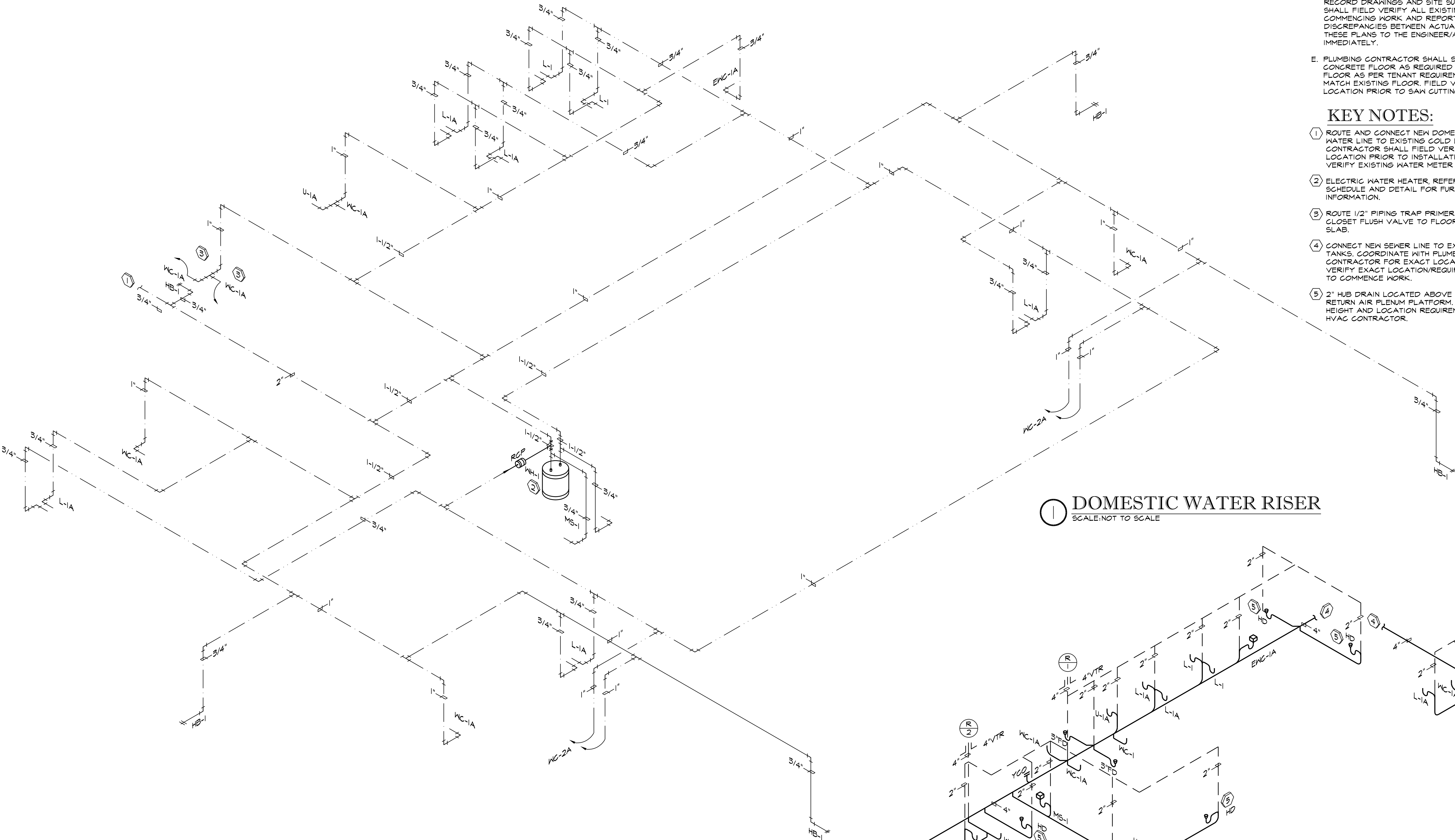
P1.2

GENERAL NOTES:

- A. COORDINATE EXACT LOCATION OF FLOOR DRAINS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
- B. COORDINATE EXACT LOCATION OF SANITARY SEWER, AND COLD WATER STUB UPS IN FLOOR, AND STUB THROUGH WALLS FOR PLUMBING FIXTURES PRIOR TO INSTALLATION.
- C. PLUMBING CONTRACTOR IS RESPONSIBLE TO MAKE FINAL CONNECTION TO MAIN SITE UTILITIES.
- D. INFORMATION ON THIS SHEET HAS BEEN TAKEN FROM RECORD DRAWINGS AND SITE SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.
- E. PLUMBING CONTRACTOR SHALL SAW CUT EXISTING CONCRETE FLOOR AS REQUIRED AND SHALL PATCH FLOOR AS PER TENANT REQUIREMENTS OR SHALL MATCH EXISTING FLOOR. FIELD VERIFY EXACT LOCATION PRIOR TO SAW CUTTING FLOOR.

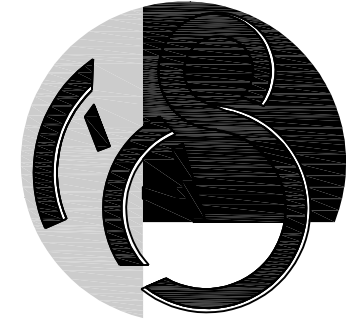
KEY NOTES:

- ① ROUTE AND CONNECT NEW DOMESTIC COLD WATER LINE TO EXISTING COLD LINE. PLUMBING CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION PRIOR TO INSTALLATION. FIELD VERIFY EXISTING WATER METER LOCATION.
- ② ELECTRIC WATER HEATER, REFER TO FIXTURE SCHEDULE AND DETAIL FOR FURTHER INFORMATION.
- ③ ROUTE 1/2" PIPING TRAP PRIMER FROM WATER CLOSET FLUSH VALVE TO FLOOR DRAIN BELOW SLAB.
- ④ CONNECT NEW SEWER LINE TO EXISTING SEPTIC TANKS. COORDINATE WITH PLUMBING CONTRACTOR FOR EXACT LOCATION. FIELD VERIFY EXACT LOCATION/REQUIREMENTS PRIOR TO COMMENCE WORK.
- ⑤ 2" HUB DRAIN LOCATED ABOVE A/C UNIT RETURN AIR FLENUM PLATFORM. COORDINATE HEIGHT AND LOCATION REQUIREMENTS WITH HVAC CONTRACTOR.

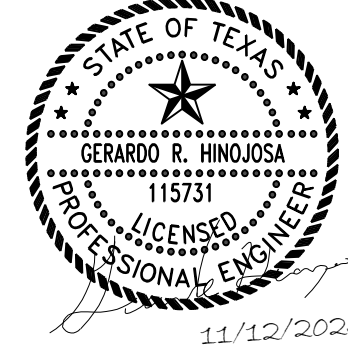


1 DOMESTIC WATER RISER
SCALE: NOT TO SCALE

2 SEWER RISER
SCALE: NOT TO SCALE



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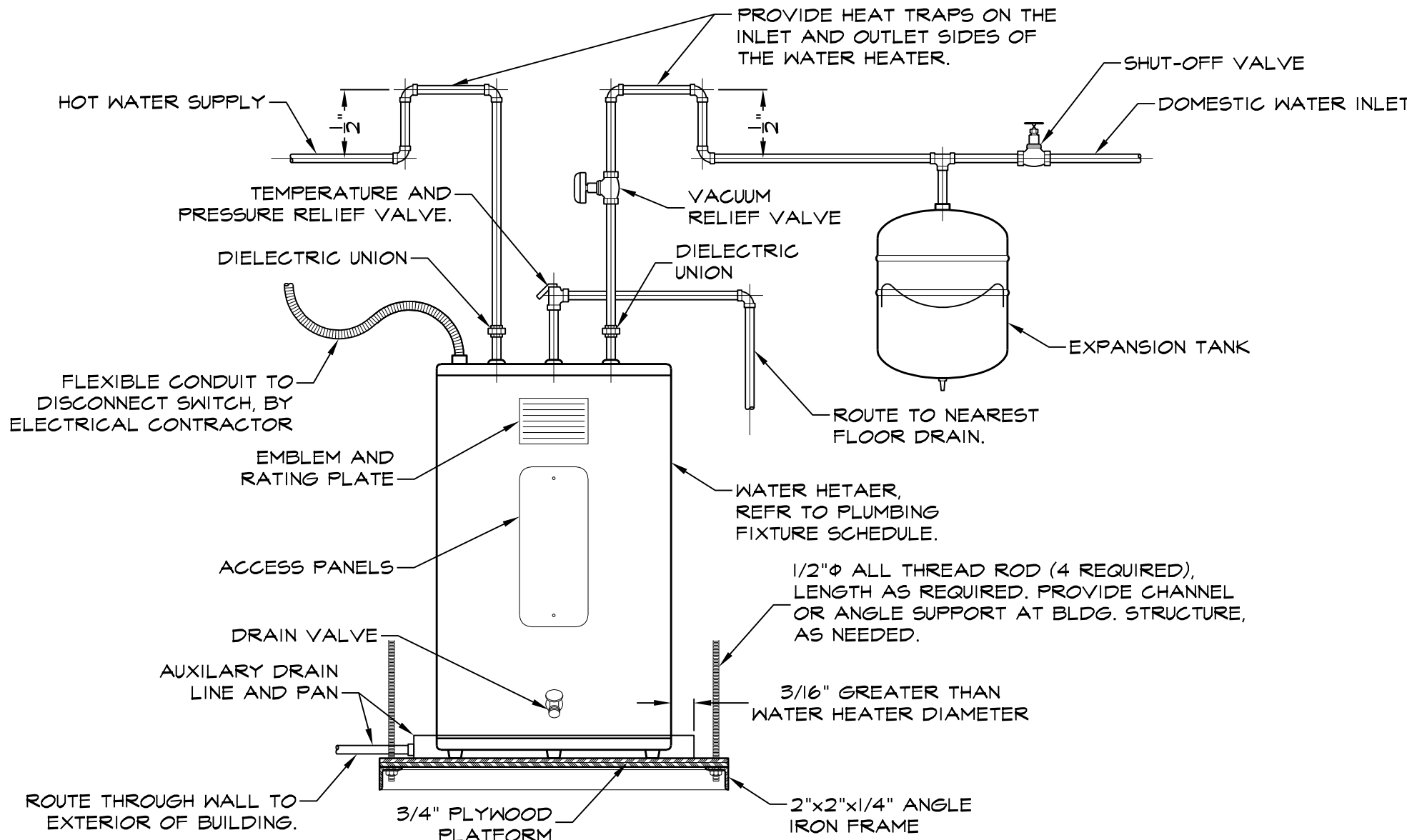
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PLUMBING
RISERS

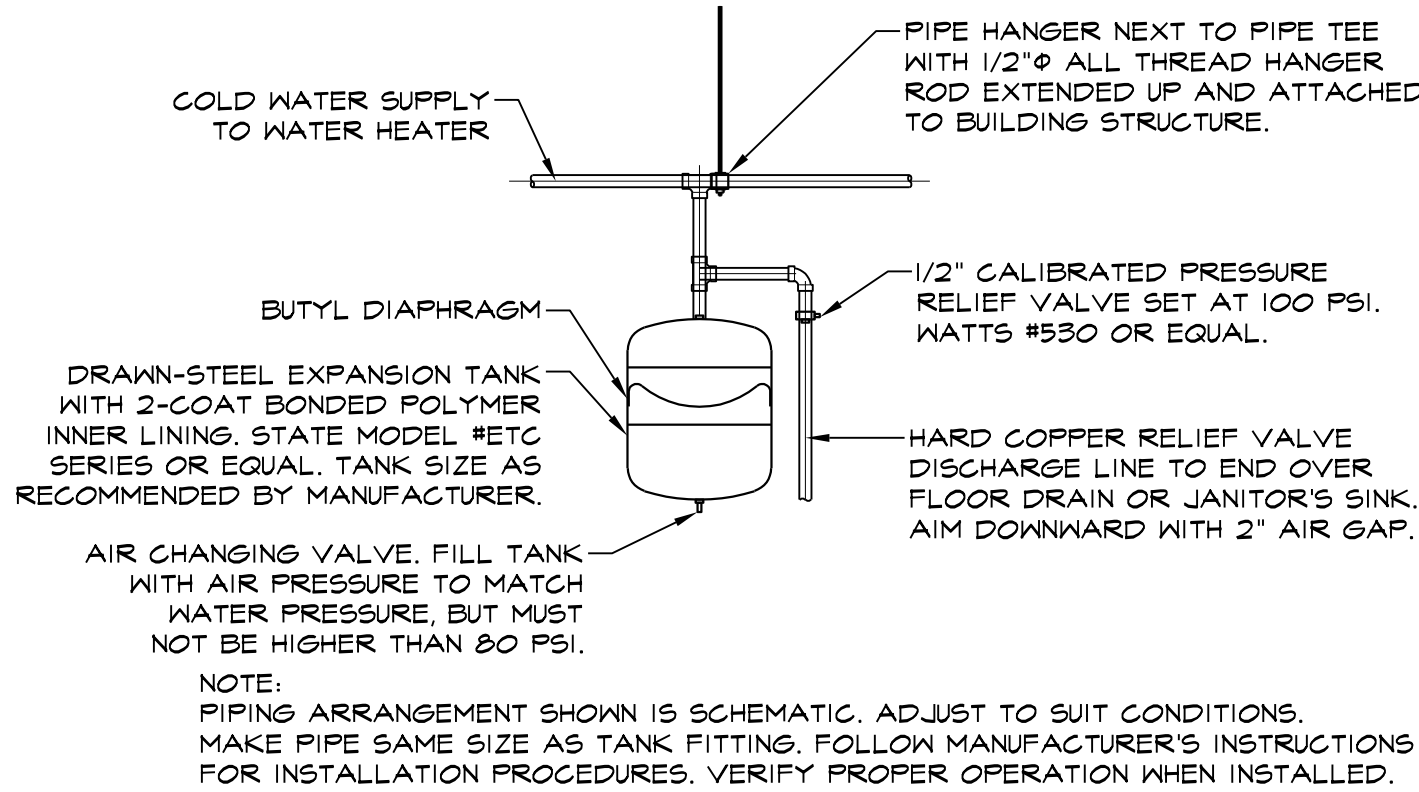
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PLUMBING NOTES:

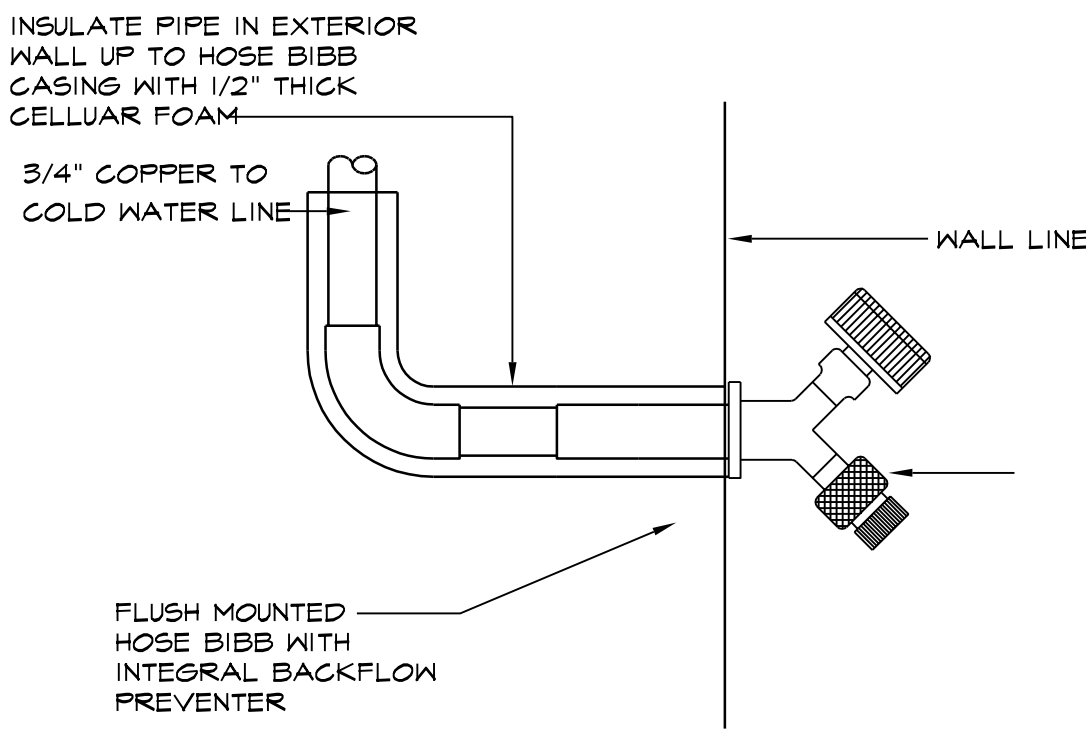
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF UTILITIES AND PIPING AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- EXACT LOCATION AND MOUNTING HEIGHTS OF PLUMBING FIXTURES SHALL BE OBTAINED FROM ARCHITECTURAL DRAWINGS.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH UTILITY COMPANIES FOR SERVICE AND CONNECTIONS AND SHALL PAY ALL FEES, CHARGES, PERMITS, INCLUDING COST OF VAULTS AND METERS.
- ALL VENT AND FLUE OUTLETS SHALL BE 10'-0" MINIMUM FROM ANY FRESH AIR INTAKES OR TERMINATE 3'-0" ABOVE ANY FRESH AIR INTAKE.
- THE CONTRACTOR SHALL PROVIDE: ALL FAUCETS, TRAPS, TRAP PRIMERS, STOPS, GATE VALVES, GAS COCKS, BACKFLOW PREVENTION DEVICE, WATER HAMMER ARRESTORS, CLEANOUT COVERS AND INDIRECT WASTE TO AN APPROVED RECEPTOR.
- INSTALL ALL PLUMBING TO AVOID INTERFERENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND FRAMING.
- THE CONTRACTOR SHALL RECORD ON AS-BUILT DRAWINGS ALL SIZES, LOCATIONS, AND MATERIALS OF EXISTING PIPING ENCOUNTERED DURING EXCAVATION AND NEW PIPING INSTALLED.
- CONTRACTOR SHALL LABEL ALL ACCESSIBLE GAS & WATER SHUT-OFFS
- REFER TO ARCHITECTURAL FLOOR PLANS FOR EXACT LOCATIONS OF PLUMBING FIXTURES WITH KITCHEN DRAWINGS AND ADJUST ROUTING OF PIPING IF NECESSARY.
- PLUMBING CONTRACTOR SHALL COORDINATE EXACT LOCATION OF PLUMBING ROUGH IN
- PLUMBING CONTRACTOR SHALL COORDINATE SITE UTILITIES WITH ARCHITECT AND CIVIL ENGINEER.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL CODES, RULES AND REGULATIONS.
- UPON COMPLETION OF JOB, THIS CONTRACTOR SHALL INSPECT ALL EXPOSED PORTIONS OF THE PLUMBING INSTALLATION AND COMPLETELY REMOVE ALL EXPOSED LABELS, SOIL, MARKINGS, AND FOREIGN MATERIAL EXCEPT PRODUCT LABELS AND THOSE REQUIRED BY LAW.
- *ALL BURRED ENDS OF ALL (POTABLE WATER) PIPING AND TUBING SHALL BE REAMED TO THE FULL BORE OF THE PIPE OR TUBE AND ALL CHIPS SHALL BE REMOVED (SEE 94 UNIFORM PLUMBING CODE SECTION 310).
- INSULATE CONDENSATE DRAIN LINES BELOW ROOF FROM A/C EQUIPMENT WITH 1/2" MINIMUM UNICELLULAR FOAM TO PREVENT CONDENSATE DRIP.
- INSULATION: ALL HOT AND COLD WATER PIPING AND TEMPERED WATER PIPING SHALL BE INSULATED WITH "PPG" INDUSTRIES, CERTAIN-TEED SNAP-WRAP OR MANVILLE MICRO-LOK, AIR CONDITIONER CONDENSATE DRAIN LINES SHALL BE INSULATED WITH MANVILLE "AEROTUBE" FOAM PLASTIC PIPE INSULATION.
- WATER HAMMER ARRESTORS: SHALL BE ALL STAINLESS STEEL CONSTRUCTION, BELLOWS-TYPE "PDI" APPROVED AND CERTIFIED SIZING AND PLACEMENT CONFIRMING TO PLUMBING AND DRAINAGE INSTITUTE STANDARD "PDI-WH 201" LATEST EDITION AND AS MANUFACTURED BY J.R. SMITH, ZERN, OR PPP INC.
- CLEANOUTS: SHALL BE MANUFACTURED BY J.R. SMITH, ZERN, JOSAM OR FP & M AS FOLLOWS:
A. FINISHED ROOM FLOORS: J.R. SMITH 4163 W/ N.B. TOP GASKETED WATERTIGHT COVER.
B. WALLS: J.R. SMITH 4532 W/ BRONZE PLUG AND CHROME PLATED COVER.
C. YARD AND PARKING LOT: J.R. SMITH 4253 CAST IRON SURFACE LEVEL. CLEANOUT.
- GAS PIPING: SHALL BE SCHEDULE 40 BLACK STEEL PIPE CONFORMING TO ASTM A53 GRADE A AND B WITH 150 LB. BLACK MALLEABLE IRON SCREWED FITTINGS AND COUPLINGS. GAS VALVES 1" AND SMALLER SHALL BE LEVER HANDLE TYPE WITH CHECK, ALL BRONZE SCREWED, "CRANE NO. 248" OR EQUAL. 1-1/4" AND LARGER VALVES SHALL BE IRON BODY WITH BRONZE SQUARE HEAD PLUG, "CRANE NO. 324 " OR EQUAL. PROVIDE OPERATING WRENCH WHERE REQUIRED FOR EACH VALVE. PROVIDE APPROVED GAS PRESSURE REGULATORS. NATURAL GAS RIGHT AND LEFT HAND NIPPLES AND COUPLINGS SHALL BE NEW BLACK IRON. UNIONS SHALL NOT BE USED EXCEPT AT UNITS AND VALVES.



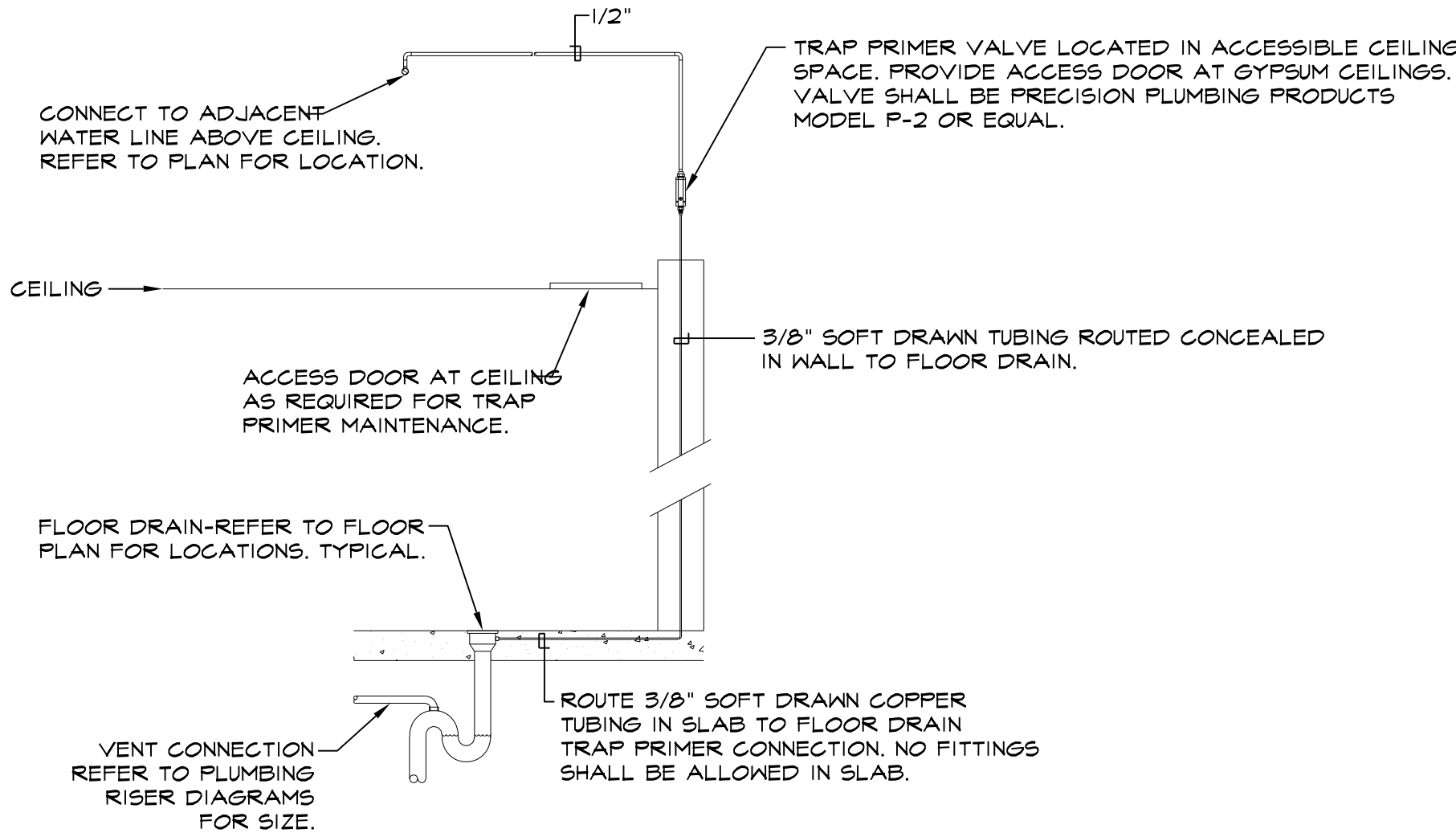
1 SUSPENDED ELECTRICAL WATER HEATER
NOT TO SCALE



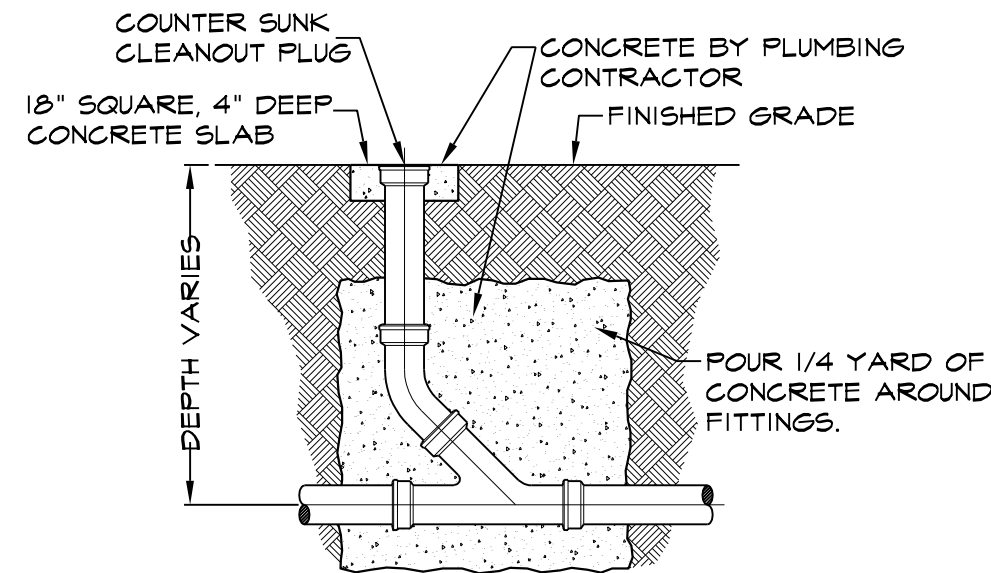
2 TYPICAL EXPANSION TANK DETAIL
NOT TO SCALE



5 OUTDOOR HOSE BIBB DETAIL
NOT TO SCALE



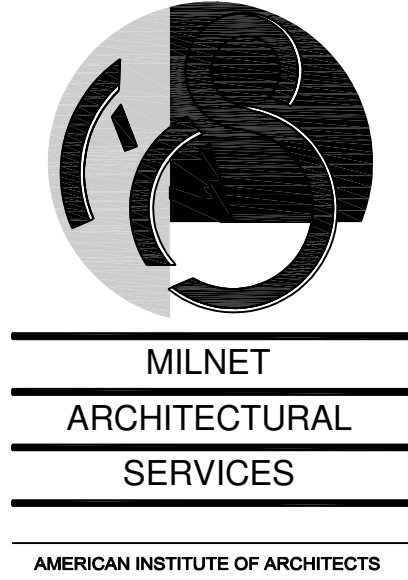
4 (TYPICAL) TRAP PRIMER DETAIL
NOT TO SCALE



- NOTES:
- ALL FITTINGS WITHIN CONCRETE SHALL BE CAST IRON.
 - PLUG THE BELL FOR THE FIRST CLEANOUT IN THE RUN.

3 YARD CLEAN-OUT DETAIL
NOT TO SCALE

PLUMBING FIXTURE SCHEDULE		
DESIGNATION	DESCRIPTION	SPECIFICATION
WC-1A	WATER CLOSET (HANDICAPPED)	KOHLER "HIGHCLIFF" MODEL #K-PR96051-T4D, VITREOUS CHINA, SIPHON JET AT ADA COMPLAIANT HEIGHT, ELONGATED BOWL, WITH KOHLER MODEL K-BOTMOONIO FLUSH VALVE, CHINA BOLT CAPS, BRASS FLOOR FLANGE, BOLWAX SEAL, LUSTRA SOLID PLASTIC OPEN FRONT SEAT WITH CHECK HINGE.
WC-1	WATER CLOSET	KOHLER "HIGHCLIFF" MODEL #K-PR96051-T4D, VITREOUS CHINA, SIPHON JET AT ADA COMPLAIANT HEIGHT, ELONGATED BOWL, WITH KOHLER MODEL K-BOTMOONIO FLUSH VALVE, CHINA BOLT CAPS, BRASS FLOOR FLANGE, BOLWAX SEAL, LUSTRA SOLID PLASTIC OPEN FRONT SEAT WITH CHECK HINGE.
WC-2A	WATER CLOSET /LAVATORY	ACORN PENAL-WARE, MODEL 1432FA-ALAR SERIES, ADA COMPLIANT LAV/TOILET COMBY-OFFSET TOILET BOWL. FIXTURE SHALL BE FABRICATED FROM 14 GAGE TYPE 304 STAINLESS STEEL. CONSTRUCTION SHALL BE SEAMLESS WELDED AND EXPOSED SURFACES SHALL HAVE A SATIN FINISH. PROVIDE 36" MINIMUM LONG STAINLESS STEEL GRAB BAR TO BE LOCATED BEHIND TOILET. FIXTURE SHALL HAVE AN AIR-CONTROL PNEUMATICALLY OPERATED, METERING, NON-HOLD OPEN PUSHBUTTON VALVE. VALVE SHALL REQUIRE LESS THAN 5 LBS. TOILET SHALL BE CONCEALED BLOWOUT JET TYPE WITH AN ELONGATED BOWL, A SELF-DRAINING FLUSHING RIM, AND AN INTEGRAL CONTOURED SEAT. CABINET INTERIOR IS TO BE SOUND DEADENED WITH FIRE-RESISTANT MATERIAL.
L-1A	LAVATORY	KOHLER "KINGSTON" MODEL #K-2006-0, WALL MOUNTED LAVATORY VITREOUS CHINA, 4" FAUCET CENTERS, TWO (2) BLADE HANDLE FAUCET, CHICAGO MODEL #802A-317, ANGLE STOPS, FLEXIBLE RISERS, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, OFFSET TAILPIECE. PROVIDE A.D.A. PROTECTIVE COVERS AT WATER PIPING, VALVES, AND DRAIN.
L-1A	LAVATORY (HANDICAPPED)	KOHLER "KINGSTON" MODEL #K-2006-0, WALL MOUNTED LAVATORY VITREOUS CHINA, 4" FAUCET CENTERS, TWO (2) BLADE HANDLE FAUCET, CHICAGO MODEL #802A-317, ANGLE STOPS, FLEXIBLE RISERS, CHROME PLATED CAST BRASS P-TRAP WITH CLEANOUT, OFFSET TAILPIECE. PROVIDE A.D.A. PROTECTIVE COVERS AT WATER PIPING, VALVES, AND DRAIN.
U-1A	URINAL (HANDICAPPED)	KOHLER "TEND" MODEL #K-20713-BT, VITREOUS CHINA, 3/4" TOP SPUD INLET, WALL HUNG URINAL, WITH SLOAN MODEL #ROYAL 186 ESS TOUCH-LESS MOTION SENSOR HARDWIRED FLUSH VALVE. FURNISH WITH CONCEALED URINAL SUPPORT SYSTEM WITH TOP AND BOTTOM PLATES, ZURN MODEL #Z-1222 OR EQUAL. HEIGHT AS INDICATED ON ARCHITECTURAL DRAWINGS.
MS-1	MOP SINK	FIAT MODEL #TSB-100, 24"x24"x12", ONE PIECE PREGAST TERRAZO (3000 PSI COMPRESSIVE STRENGHT), 12" HIGH WITH 2" WIDTH MIN. SHOULDERS WITH STAINLESS STEEL CAPS AND 1/2" PITCH TOWARD INSIDE, DRAIN BODY SHALL BE STAINLESS STEEL CAST INTEGRAL WITH CAULKED LEAD CONNECTION, STAINLESS STEEL THRESHOLD. FURNISH WITH CHROME PLATED WALL FLANGES, PAIL HOOK, 3/4" HOSE THREAD ON SPOUT (FIAT #830-AA), AND 60"x3/4" DIA PLAIN END REINFORCED RUBBER HOSE WITH HOSE BRACKET (FIAT #832-AA), AND MOP HANGER (FIAT #889-CG).
WH-1	ELEGTRIC WATER HEATER	A. O. SMITH "LOW BOY" MODEL #DEL-50 ELECTRIC WATER HEATER RATED AT 208 VOLTS, SINGLE PHASE, 4.5 KW, NON-SIMULTANEOUS DOUBLE ELEMENT, GLASS LINED AND UL LISTED. HEATER SHALL HAVE A NOMINAL STORAGE CAPACITY OF FIFTY (50) GALLONS, 3/4" TAPPING FOR RELIEF VALVE INSTALLATION, ANODE ROD FOR CATHODIC PROTECTION, TEMPERATURE AND PRESSURE VALVE, DRAIN PAN, THERMOSTAT SET AT 110 deg WITH TEMPERATURE CUTOFF, AND DRAIN VALVE LOCATED AT FRONT FOR EASE OF SERVICING. REFER TO TYPICAL WATER HEATER INSTALLATION DETAIL ON PLANS.
ENG-1A	ELECTRIC WATER COOLER	ELKAY MODEL #LZ5TLG8WSLK, SELF-CONTAINED WALL HUNG, TWO LEVEL ELECTRIC REFRIGERATED WATER COOLER WITH BOTTLE FILLING STATION, WITH BUT NOT LIMITED TO: SELF-CLOSING CONTROLS ON FRONT, LEFT, AND RIGHT OF UNIT, FLEXI-GUARD SAFETY BUBBLERS, HERMETICALLY SEALED RECIPROCATING COMPRESSOR, 120 VOLT, STAINLESS STEEL CABINET. 8.00 GPH OF 50 deg DRINKING WATER BASED ON 80 deg INLET WATER TEMPERATURE. LKAPRZL CANE APRON FOR EZ GREY PROVIDES THE MANDATORY 21" FLOOR TO UNDERSIDE REQUIREMENT FOR DETECTION IN A CIRCULATION PATH. FURNISH WITH CONCEALED PLATE TYPE SYSTEM WITH TOP AND BOTTOM PLATES ZURN #Z-1225 COMPLETE WITH STEEL UPRIGHTS WITH WELDED FEET, ADJUSTABLE MOUNTING PLATES, AND MOUNTING HARDWARE. MOUNT AT A.D.A. HEIGHT AS INDICATED ON ARCHITECTURAL DRAWINGS.
HB-1	HOSE BIBB	WOODFORD MODEL #B65 SERIES CONCEALED TYPE WALL HYDRANT COMPLETE BUT NOT LIMITED TO RECESSED WALL BOX WITH LOCKABLE DOOR, LOOSE TEE KEY, VACUUM BREAKER-BACKFLOW PREVENTER, POLISHED BRASS FINISH, AND 3/4" HOSE THREAD NOZZLE OR EQUAL.
RCP	RETURN CIRCULATOR PUMP	BELL AND GOSSETT #3-4 / BTXRC IN LINE CIRCULATOR, 4GPM, BRASS WITH BUILD-IN ADJUSTABLE THERMOSTAT, TEMPERATURE SENSOR AT 104°F MAX, ADJUSTABLE TIMER INCLUDED.
FD	FLOOR DRAIN	ZURN- MODEL Z-415-P. TYPE B STRAINER, LACQUERED CAST IRON TWO PIECE BODY WITH DOUBLE DRAINAGE FLANGE, WEEP HOLES, AND ROUND, ADJUSTABLE NICKLE-BRONZE STRAINER, TRAP PRIMER CONNECTION.



STARR COUNTY COURTHOUSE
TEMPORARY HOUSING
INTERIOR BUILD-OUT
1920 US-83 RIO GRANDE CITY, TX.

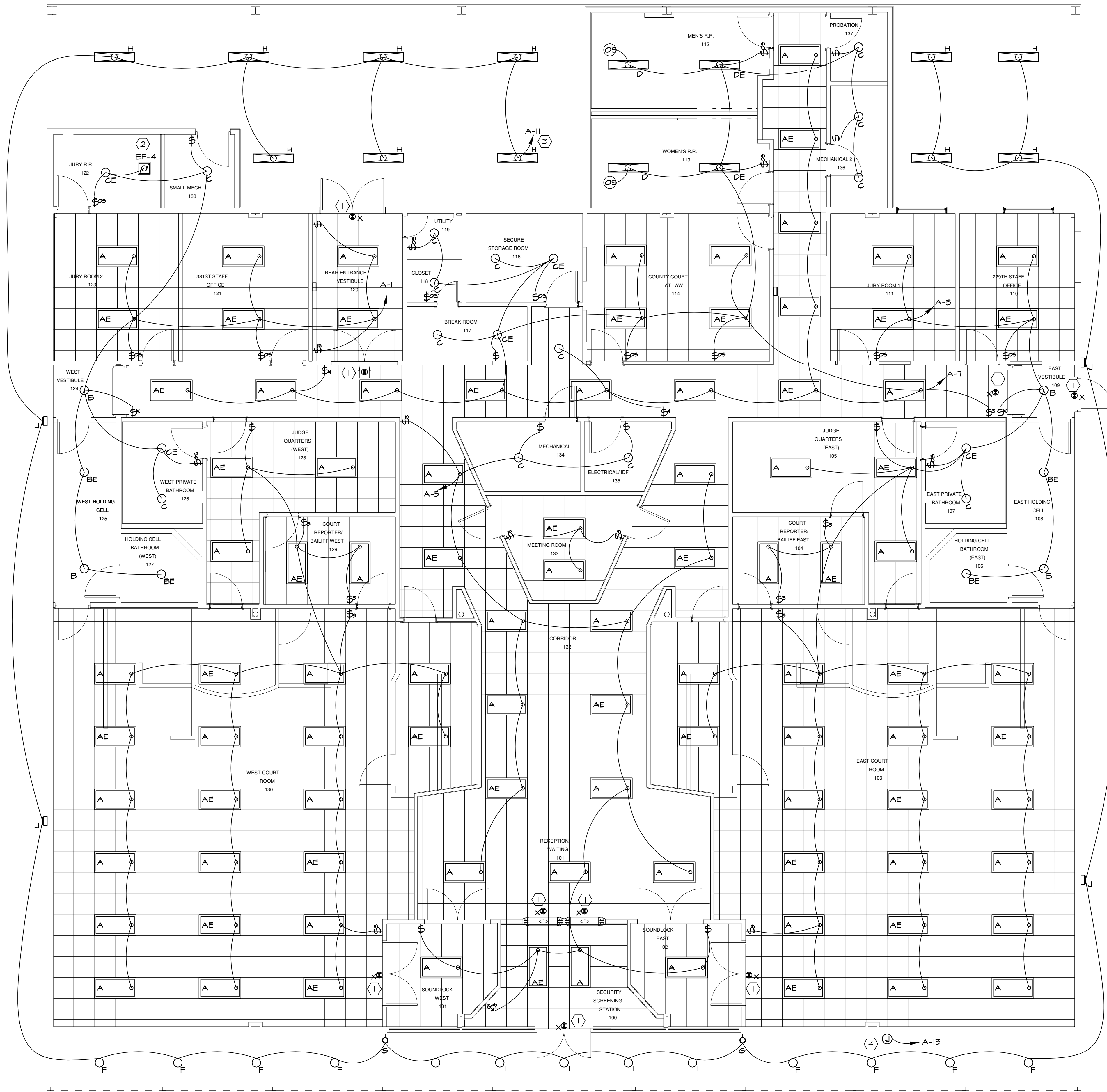
PROJECT NUMBER
2523

DATE
11/12/2025

PROJECT STATUS
FOR PERMIT AND CONT.

PLUMBING
DETAILS AND
SCHEDULES

P3.1



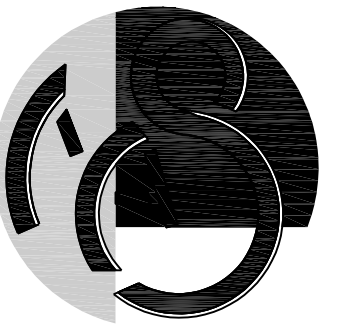
① ELECTRICAL LIGHTING PLAN
SCALE: 3/16"=1'-0"

GENERAL NOTES:

- COORDINATE CONDUIT ROUTINGS WITH OTHER TRADES, AND EXISTING CONDITIONS PRIOR TO INSTALLATION.
- ALL LIGHT FIXTURE SUBSTITUTION SHALL BE APPROVED BY OWNER AND MUST BE EQUAL TO OR OF BETTER QUALITY THAN FIXTURES SPECIFIED BY ARCHITECT.
- REFER TO ARCHITECTS DRAWINGS FOR LIGHT FIXTURES MOUNTING HEIGHTS.
- ALL SWITCHES & RECEPTACLES SHALL BE 20 AMP MINIMUM.
- MC CABLE SHALL ONLY BE USED FOR LITE WHIPS AND IN WALL USE. ALL HOMERUNS SHALL BE HARD PIPED.
- ELECTRICAL CONTRACTOR SHALL FOLLOW THE 2020 NEC AND IECC 2021.
- GENERAL CONTRACTOR SHALL COMPLY WITH CITY OF PHARR OFFICES ON LOCAL CODES AND AMENDMENTS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL LIGHTING FIXTURES AS PER MANUFACTURE RECOMMENDATIONS.
- INFORMATION ON THIS SHEET HAS BEEN TAKEN FROM RECORD DRAWINGS AND SITE SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.

KEY NOTES:

- EXIT SIGN MOUNTED ON WALL ABOVE CENTER OF DOOR(S). ROUTE ELECTRICAL PANEL A-9.
- CONNECT EXHAUST FAN ABOVE CEILING AND SWITCH WITH ROOM LIGHTING. COORDINATE LOCATION OF EXHAUST FAN WITH HVAC CONTRACTOR.
- CONTROL LIGHTING CIRCUIT VIA A 7-DAY, 24 HOUR, PROGRAMMABLE, ASTRONOMICAL, DIGITAL TIME, CLOCK/PHOTO CELL COMBINATION.
- LIGHTING CONTRACTOR SHALL PROVIDE AND INSTALL JUNCTION BOX(S) FOR EXTERIOR BUILDING SIGN. FIELD VERIFY EXACT LOCATION, POWER REQUIREMENTS WITH GENERAL CONTRACTOR, SIGNAGE SUPPLIER, AND OWNER PRIOR TO COMMENCE WORK. CONTROL LIGHTING CIRCUIT VIA A 7-DAY, 24 HOUR, PROGRAMMABLE, ASTRONOMICAL, DIGITAL TIME, CLOCK/PHOTO CELL COMBINATION.



MILNET
ARCHITECTURAL
SERVICES

AMERICAN INSTITUTE OF ARCHITECTS



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MCALLEN, TEXAS 78501
FIRM # 14580

STARR COUNTY COURTHOUSE
TEMPORARY HOUSING
INTERIOR BUILD-OUT
1920 US-83 RIO GRANDE CITY, TX.

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PROJECT STATUS
FOR PERMIT AND CONT.

ELECTRICAL
LIGHTING PLAN

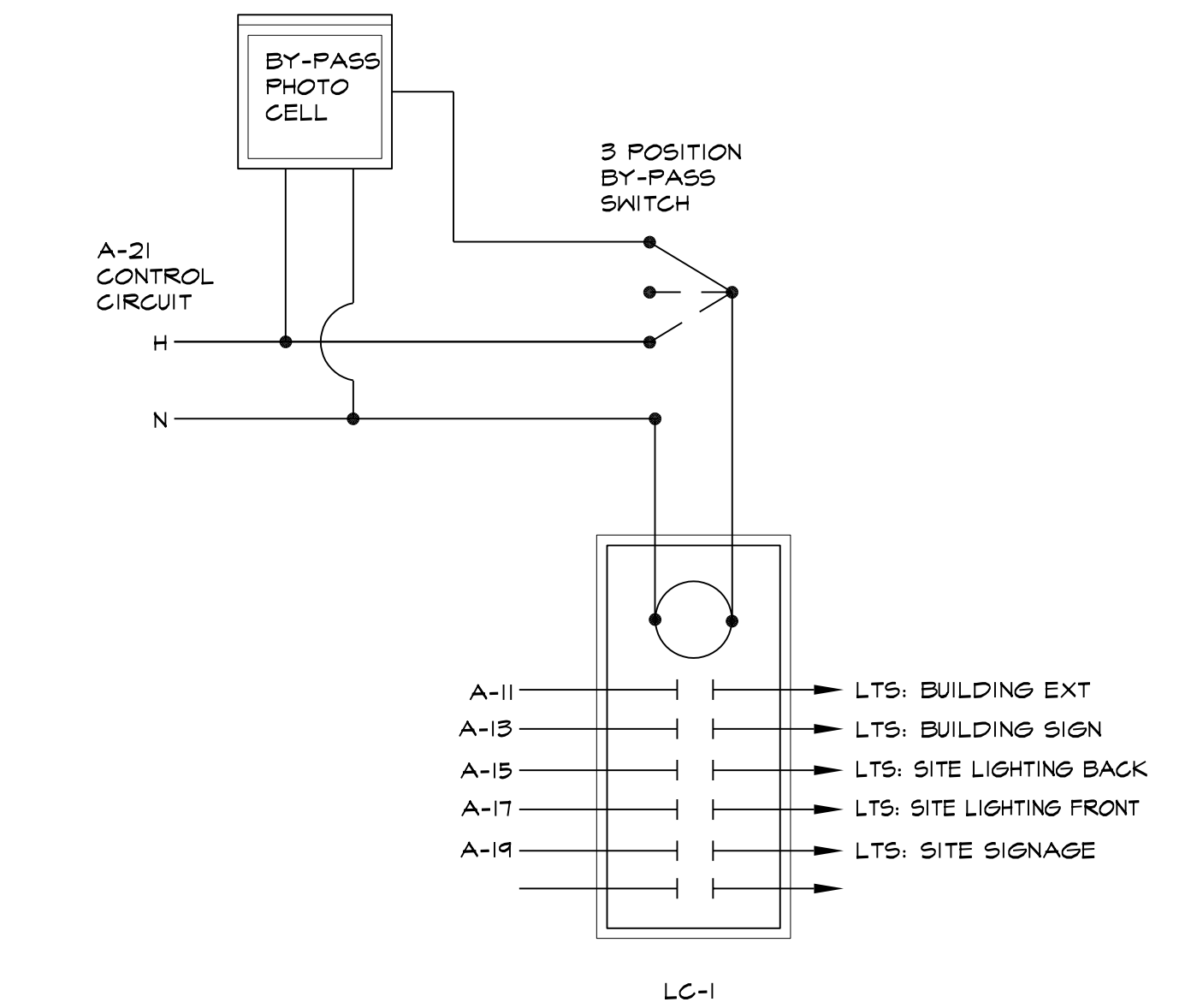
E1.1

LIGHTING FIXTURE SCHEDULE							
FIXTURE				LAMPS			FIXTURE DESCRIPTION
TAG	MFR.	MODEL NO.	MOUNT	NO.	TYPE	VOLT	
A	LITHONIA	CPX-2X4-6000LM-80-35K-SNL-MVOLT	LAY-IN	I	LED-42W	MVOLT	CPX LED PANEL, 2X4, 6000 LUMENS, 80 CRI, 3500K, SATIN WHITE LENS, MVOLT.
AE	LITHONIA	CPX-2X4-6000LM-80-35K-SNL-MVOLT-EIOW	LAY-IN	I	LED-42W	MVOLT	CPX LED PANEL, 2X4, 6000 LUMENS, 80 CRI, 3500K, SATIN WHITE LENS, MVOLT, BATTERY-BACKUP
B	LUMINAIRE	VRDL6-2500LM-WD-35K-80CRI-CAL	RECESSED	I	LED-31W	MVOLT	VANDAL RESISTANT 6" RECESSED DOWNLIGHT LUMINAIRE 2500 LUMENS WIDE, 3500K, 80CRI, CLEAR ACRYLIC LENS.
BE	LUMINAIRE	VRDL6-2500LM-WD-35K-80CRI-CAL-EMB310T20	RECESSED	I	LED-31W	MVOLT	VANDAL RESISTANT 6" RECESSED DOWNLIGHT LUMINAIRE 2500 LUMENS WIDE, 3500K, 80CRI, CLEAR ACRYLIC LENS, BATTERY-BACKUP
C	LITHONIA	LBR6NCH-AL03-(2500LM) SNW-(3500K)-AR-L55 WD-80CRI	RECESSED	I	LED-32W	MVOLT	6IN DOWN LIGHT, LED, 2500LM 3500K CLEAR SEMI-SPECULAR WIDE 80CRI.
CE	LITHONIA	LBR6NCH-AL03-(2500LM) SNW-(3500K)-AR-L55 WD-80CRI-EIOWCP	RECESSED	I	LED-32W	MVOLT	6IN DOWN LIGHT, LED, 2500LM 3500K CLEAR SEMI-SPECULAR WIDE 80CRI, BATTERY BACKUP.
D	LITHONIA	CPX-1X4-6000LM-80CRI-30K-SNL-MVOLT	RECESSED	I	LED-55W	MVOLT	CPX LED PANEL, 1X4, 6000 LUMENS, 80 CRI, 3000K, SATIN WHITE LENS, MVOLT.
DE	LITHONIA	CPX-1X4-6000LM-80CRI-30K-SNL-MVOLT-EIOW	RECESSED	I	LED-55W	MVOLT	CPX LED PANEL, 1X4, 6000 LUMENS, 80 CRI, 3000K, SATIN WHITE LENS, MVOLT, BATTERY BACK-UP.
F	LITHONIA	LBR6NCH-AL01-(1000LM) SNW-(4000K)-AR-L55 WD-80CRI-WL	RECESSED	I	LED-13W	MVOLT	6IN DOWN LIGHT, LED, 2500LM 3500K CLEAR SEMI-SPECULAR WIDE 80CRI, WET LOCATION.
G	LITHONIA	LDN6CYL-40/10-LO6AR-L55	WALL MOUNT	I	LED-11W	MVOLT	6IN LDN CYLINDER WALL MOUNT, 10" A.F.F. 4000K, 1000LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80, WET LOCATION.
H	LITHONIA	CSV-T-L48-6000LM-MVOLT-35000K-80CRI	RECESSED	I	LED-49W	MVOLT	LINEAR LED VAPOR TIGHT LED 48", 6000LM, 3500K, 80 CRI
I	LITHONIA	LDN6CYL-40/10-LO6AR-L55	PENDANTS	I	LED-11W	MVOLT	6IN LDN CYLINDER PENDANT 3/8" THREAD MOUNT, 10" A.F.F. 4000K, 1000LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80, WET LOCATION.
J	LITHONIA	WDG53-LED-P4-70CRI-R3-40K	WALL PACK	I	LED-88W	MVOLT	WDG53 LED WITH P4 PERFORMANCE PACKAGE 4000K, 70CRI, TYPE 3 OPTIC, MOUNT AT 12" A.F.F.
PI	LITHONIA	RSX3-LED-P4-40K-R4	POLE	I	LED-312W	MVOLT	LED POLE LIGHTING, RSX AREA LIGHTING, P4, 4000K, TYPE R4 DISTRIBUTION, SQUARE POLE MOUNTING, UL LISTED FOR WET LOCATION, MOUNT ON 22'-0" SQUARE STEEL POLE WITH HANDHOLE 18" ABOVE BASE, ANCHOR BOLTS, NUTS, BOLT COVERS, 12 EPA AT 100 MPH, WITH BRACKET FOR ONE FIXTURE, REFER TO CONCRETE PIER DETAIL OR INSTALLATION REQUIREMENTS, FIELD VERIFY COLOR BEFORE ORDERING WITH ARCHITECT/OWNER.
X	LITHONIA	HLHQM-S-14-R6-MVOLT-M6	UNIVERSAL	--	INCLUDED	MVOLT	LED, EXIT SIGN WITH WHITE HOUSING, STENCIL TYPE FASE PLATE, RED PANELS, NI-CAD BATTERY, KNOCKOUT DIRECTIONAL CHEVRONS AND EXTRA FACE PLATE AND PANEL.
NOTES: 1. FIXTURE CATALOG NUMBERS ARE INDICATED FOR GUIDANCE PURPOSES. ALL WRITTEN DESCRIPTION IN SPECIFICATIONS AND ON DRAWINGS SHALL APPLY 2. FIXTURES INSTALLED IN "WET LOCATIONS" SHALL BE RATED AND MARKED "SUITABLE FOR WET LOCATIONS". 3. SUSPENDED FIXTURES SHALL BE MOUNTED AT 10' A.F.F. 4. FINAL FINISH AND COLOR SHALL BE SELECTED BY ARCHITECT/OWNER PRIOR TO ORDERING.							

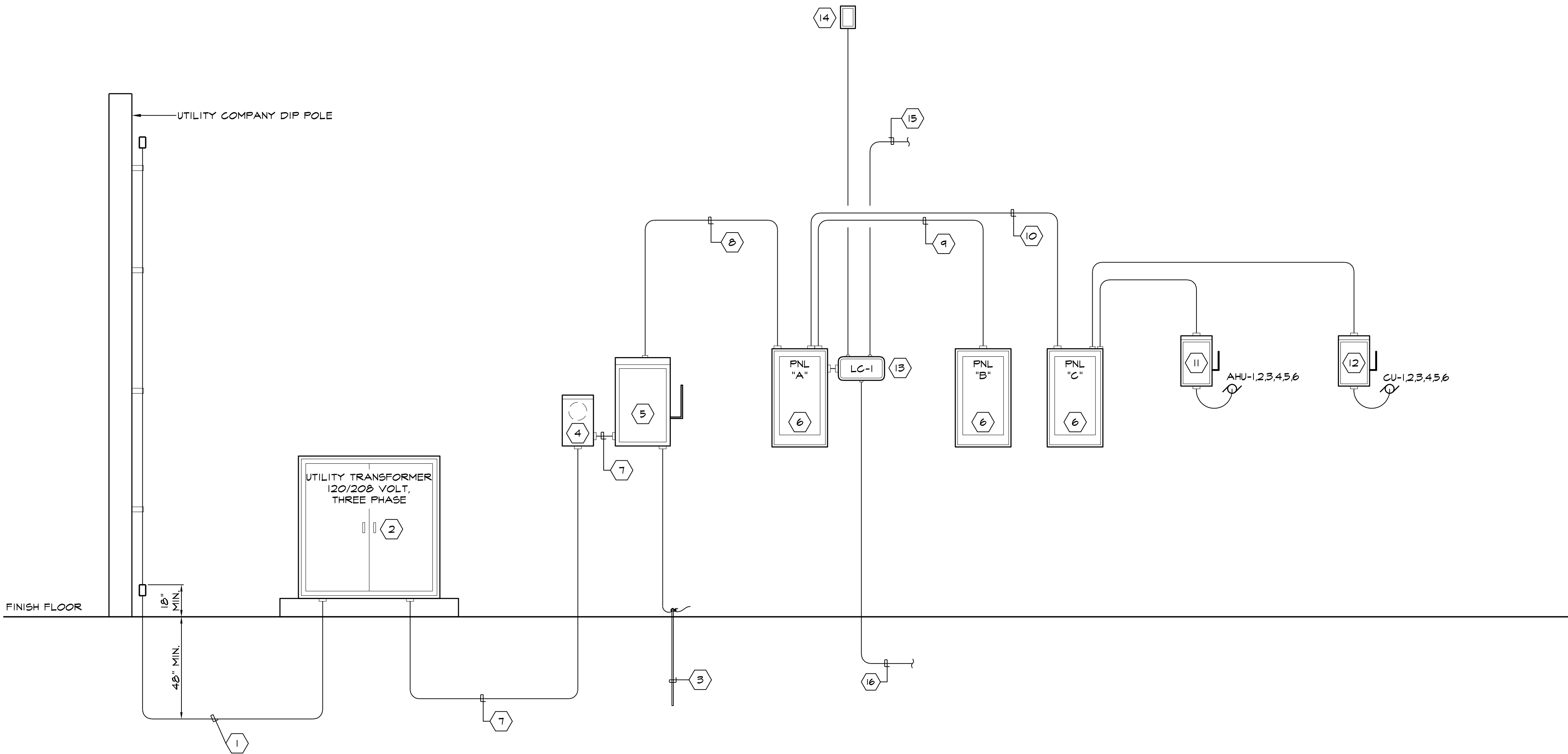
PANEL " A "											
SERVICE: 120/208V, 3ø, 4-WIRE						SOURCE: DISCONNECT					
MAIN BREAKER RTNG: 350A						FEED: TOP					
MAIN LUGS/BUS RTNG: 400A						MOUNTING: RECESSED					
NEUTRAL BUS REQ'D: 100%						ENCLOSURE: NEMA-1					
GROUND BUSS REQ'D: 100%						LOCATION: ---					
A.I.C. RATING: 22,000						SQUARE 'D' TYPE:					
DESCRIPTION	CKT. BKR.	CONN. LOAD (VA)			CKT. NO.	CONN. LOAD (VA)			CKT. BKR.	DESCRIPTION	
		"A"	"B"	"C"		"A"	"B"	"C"			
LTS: INTERIOR WEST	20/1	1555			1	2	1000		20/1	REG. COURT ROOM WEST	
LTS: INTERIOR EAST	20/1		1400		3	4		1000	20/1	REG. COURT ROOM WEST	
LTS: RECEPT/CORRIDOR	20/1			865	5	6		1000	20/1	REG. COURT ROOM WEST	
LTS: HALLWAY/RR/OFFICE	20/1	1215			7	8	1000		20/1	REG. COURT ROOM WEST	
LTS: EXITS	20/1		500		9	10		1440	20/1	REG. COURT ROOM WEST	
LTS: BUILDING EXT	20/1			1075	11	12		1260	20/1	REG. COURT ROOM WEST	
LTS: BUILDING SIGN	20/1	1000			13	14	1440		20/1	REG. COURT ROOM EAST	
LTS: SITE LIGHTING BACK	20/1		1560		15	16		1260	20/1	REG. COURT ROOM EAST	
LTS: SITE LIGHTING FRONT	20/1			625	17	18		1000	20/1	REG. COURT ROOM EAST	
LTS: SITE SIGNAGE	20/1	1000			19	20	1000		20/1	REG. COURT ROOM EAST	
LTS: LIGHTING CONT. LC-1	20/1		500		21	22		1000	20/1	REG. COURT ROOM EAST	
COMP. JUDGE/REPORTER WEST	20/1		1200		23	24		1000	20/1	REG. COURT ROOM EAST	
COMP. JURY ROOM 112	20/1	1200			25	26	---	---	---	BUS SPACE ONLY	
COMP. PROBATION/CONF.	20/1		1200		27	28	---	---	---	BUS SPACE ONLY	
COMP. STAFF OFFICE 110/111	20/1			1200	29	30	---	---	---	BUS SPACE ONLY	
COMP. JUDGE/REPORTER EAST	20/1	1200			31	32	8960				
COMP. RECEPTION 101	20/1		1200		33	34	9680		00/3	PANEL B	
COMP. MEETING ROOM 133	20/1			1200	35	36		8960			
BUS SPACE ONLY	---	---	---	---	37	38	20300				
BUS SPACE ONLY	---	---	---	---	39	40	20425		200/3	PANEL C	
BUS SPACE ONLY	---	---	---	---	41	42		21175			
		7170	6360	6165			83700	84808	834395		
SERVICE CALCULATION						CONNECTED LOAD					
CATEGORY	CONN. LOAD		DESIGN LOAD				VA		AMPS		
	KVA	FACTOR	KVA								
LIGHTING	11.3	1.25	14.1				PHASE "A"	40870	340.6		
RECEPTAGLES	13.4	1.0/0.5	11.7				PHASE "B"	41165	343.0		
COMPUTER	8.4	1.25	10.5				PHASE "C"	40560	338.0		
PANEL B	27.6	---	18.8				FEEDER SIZE				
PANEL C	61.9	---	63.4				REFER TO RISER DIAGRAM				
TOTAL	122.6		118.5								

PANEL " C "											
SERVICE: 120/208V, 3Ø, 4-WIRE						SOURCE: PANEL A					
MAIN BREAKER RTNG: ---						FEED: TOP					
MAIN LUGS/BUS RTNG: 225A						MOUNTING: RECESSED					
NEUTRAL BUS REQ'D: 100%						ENCLOSURE: NEMA-1					
GROUND BUSS REQ'D: 100%						LOCATION: ---					
A.I.C. RATING: ---						SQUARE 'D' TYPE:					
DESCRIPTION	CKT. BKR.	CONN. LOAD (VA)			CKT. NO.	CONN. LOAD (VA)			CKT. BKR.	DESCRIPTION	
		"A"	"B"	"C"		"A"	"B"	"C"			
AHU-1	60/2	4325			1	2	4325		60/2	AHU-4	
			4325		3	4		4325			
AHU-2	60/2			4325	5	6		4200	60/2	AHU-5	
		4325			7	8	4200				
AHU-3	60/2		4200		9	10		4325	60/2	AHU-6	
				4200	11	12		4325			
CU-1	50/2	---	---	---	13	14	---	---	50/2	CU-4	
					15	16	---	---			
CU-2	50/2	---	---	---	17	18	---	---	40/2	CU-5	
					19	20	---	---			
CU-3	40/2	---	---	---	21	22	---	---	50/2	CU-6	
					23	24	---	---			
EF-1	20/1	1000			25	26	1000		20/1	RCP	
EF-2	20/1		1000		27	28	2250		30/2	WH-1	
EF-3	20/1			1000	29	30		2250			
HVAC CONTROLS/DAMPERS	20/1	1000			31	32	1000		20/1	HVAC CONTROLS/DAMPERS	
BUS SPACE ONLY	---	---	---	---	33	34	---	---	20/1	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	35	36	---	---	20/1	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	37	38	---	---	20/1	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	39	40	---	---	20/1	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	41	42	---	---	20/1	BUS SPACE ONLY	
		10650	9525	9525			10525	0900	10715		
SERVICE CALCULATION						CONNECTED LOAD					
CATEGORY	CONN. LOAD		DESIGN LOAD				VA		AMPS		
	KVA	FACTOR	KVA								
ELECTRIC HEAT	5.5	1.25/1.0	5.5				PHASE "A"	21175	176.5		
HVAC	51.4	1.25/1.0	53.6				PHASE "B"	20425	170.2		
EQUIPMENT	5.0	0.85	4.3				PHASE "C"	20300	169.2		
							FEEDER SIZE				
							REFER TO RISER DIAGRAM				
TOTAL	61.9				63.4						

PANEL " B "											
SERVICE: 120/208V, 3ø, 4-WIRE						SOURCE: PANEL A					
MAIN BREAKER RTNG: ---						FEED: SIDE					
MAIN LUGS/BUS RTNG: 100A						MOUNTING: RECESSED					
NEUTRAL BUS REQ'D: 100%						ENCLOSURE: NEMA-1					
GROUND BUSS REQ'D: 100%						LOCATION: ---					
A.I.C. RATING: ---						SQUARE 'D' TYPE:					
DESCRIPTION	CKT. BKR.	CONN. LOAD (VA)			CKT. NO.	CONN. LOAD (VA)			CKT. BKR.	DESCRIPTION	
		"A"	"B"	"C"		"A"	"B"	"C"			
REG. JUDGE/REPORTER WEST	20/1	1620			1	2	1000		20/1	REG. BREAKROOM	
REG. JURY ROOM 112	20/1		1080		3	4		1000	20/1	REG. BREAKROOM	
REG. BACKROOM/STORAGE	20/1			1260	5	6		1000	20/1	REG. JUDGE RR WEST	
REG. PROBATION/CONF.	20/1	1440			7	8	1000		20/1	REG. JUDGE RR EAST	
REG. STAFF OFFICE	20/1		1440		9	10		1000	20/1	REG. JURY RR	
REG. HALL/REAR ENTRANCE	20/1			1620	11	12		1000	20/1	REG. RR 112/113	
REG. JUDGE/REPORTER EAST	20/1	1620			13	14	1000		20/1	REG. BUILDING EXT	
REG. WAITING	20/1		1440		15	16		1000	20/1	REG. BUILDING EXT	
REG. RECEPTION/MEETING	20/1			1080	17	18		1000	20/1	REG. SITE	
FACP	20/1	1000			19	20	1000		20/1	METAL DETECTOR	
TELEPHONE	20/1		1000		21	22		1000	20/1	METAL DETECTOR	
REG. SITE SIGNAGE	20/1			1000	23	24		1000	20/1	EMC	
DOOR STRIKE	20/1	1000			25	26	---	---	---	BUS SPACE ONLY	
DOOR STRIKE	20/1		1000		27	28	---	---	---	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	29	30	---	---	---	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	31	32	---	---	---	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	33	34	---	---	---	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	35	36	---	---	---	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	37	38	---	---	---	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	39	40	---	---	---	BUS SPACE ONLY	
BUS SPACE ONLY	---	---	---	---	41	42	---	---	---	BUS SPACE ONLY	
		6620	5960	4960	4000		4000	4000			
SERVICE CALCULATION						CONNECTED LOAD					
CATEGORY	CONN. LOAD			DESIGN LOAD			VA		AMPS		
	KVA	FACTOR	KVA	KVA			PHASE 'A'	960.7	PHASE 'B'	876.0	
RECEPTACLES	29.6	1.0/0.5	19.8				PHASE 'C' <td>876.0<td>74.7</td><td></td></td>	876.0 <td>74.7</td> <td></td>	74.7		
							FEEDER SIZE				
							REFER TO RISER DIAGRAM				
TOTAL	29.6		19.8								



CONTACTOR DETAIL "A"
NOT TO SCALE



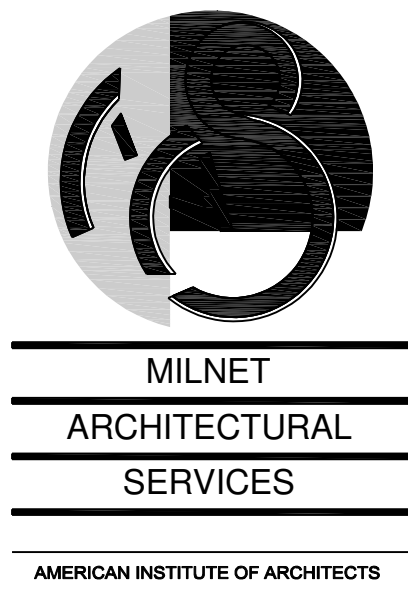
ELECTRICAL RISER DIAGRAM
NOT TO SCALE

GENERAL NOTES:

A. INFORMATION ON THIS SHEET HAS BEEN TAKEN FROM RECORD DRAWINGS AND SITE SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THESE PLANS TO THE ENGINEER/ARCHITECT IMMEDIATELY.

KEY NOTES:

1. PROVIDE AND INSTALL 4" PVC PRIMARY RACEWAY WITH LONG SWEEP ELL'S AND FULL STRING TO RISE UP AT BASE AND EXTEND TO TOP OF DIP POLE. COORDINATE ALL ROUTING AND INSTALLATION OF UNDERGROUND WORK WITH POWER COMPANY ENGINEERING DEPARTMENT.
2. POWER COMPANY PAD MOUNT TRANSFORMER 120/208V, 3Ø, 4-WIRE SERVICE. COORDINATE LOCATION WITH POWER COMPANY. MOUNT TRANSFORMER ON CONCRETE PAD, FURNISHED BY ELECTRICAL CONTRACTOR, AS PER DETAIL, ON SHEET MPE2.0.
3. GROUND PER NEG. ONE OHM OR LESS RESISTANCE. SERVICE FEEDER: 1-#3/0 GRND. IN 1" CONDUIT.
4. POWER COMPANY METER INSTALLED IN NEMA-3R ENCLOSURE.
5. 400 AMP, 3Ø3F, 400 AMP FUSES, 240 VOLT, NEMA-3R DISCONNECT SWITCH.
6. ELECTRICAL PANELBOARD. REFER TO PANEL SCHEDULE ON SHEET E3.1.
7. SERVICES FEEDER: TWO SET OF 4-#4/0 KCML. IN 2" CONDUIT.
8. SERVICE FEEDER: TWO SETS OF 4-#4/0 KCML AND #2 GRND. IN 2" CONDUIT.
9. SERVICE FEEDER: 4-#1 KCML AND #6 GRND. IN 1-1/2" CONDUIT.
10. SERVICE FEEDER: 4-#4/0 KCML AND #4 GRND. IN 2" CONDUIT.
11. 60 AMP, 3Ø3F, 60AF, NEMA 1 DISCONNECT, 240 VOLT WITH FLEXIBLE CONDUIT BRANCH CIRCUIT TO EQUIPMENT. SERVICE FEEDER: 3-#6 & 1-#8 GRND IN 3/4" CONDUIT.
12. 60 AMP, 3Ø3F, 50AF, NEMA 3R DISCONNECT, 240 VOLT WITH FLEXIBLE CONDUIT BRANCH CIRCUIT TO EQUIPMENT. SERVICE FEEDER: 3-#6 & 1-#8 GRND IN 3/4" CONDUIT.
13. PROVIDE AND INSTALL A MECHANICALLY HELD LIGHTING CONTACTOR, SIX (6) POLE, 120V COIL, SQUARE D #LG60 CLASS 8903 OR EQUAL, IN A NEMA-3R ENCLOSURE. CONTACTOR SHALL CONTROL EXTERIOR BUILDING LIGHTING, PARKING LOT LIGHTING, AND EXTERIOR BUILDING SIGNAGE. REFER TO LIGHTING CONTACTOR DETAIL.
14. PROVIDE AND INSTALL A PHOTOCELL CONTROL DEVICE IN RECESSED SWITCH BOX FLUSH WITH BUILDING WALL TO CONTROL ON/OFF CIRCUIT TO LIGHTING CONTACTOR. LOCATION OF PHOTOCELL DEVICE TO BE AS DIRECTED BY GENERAL CONTRACTOR.
15. PROVIDE AND INSTALL ELECTRICAL FEEDERS ROUTED TO LIGHTING FIXTURES ON BUILDING. REFER TO ELECTRICAL SITE PLAN FOR LOCATIONS.
16. PROVIDE AN INSTALL UNDERGROUND ELECTRICAL FEEDERS ROUTED TO PARKING LOT LIGHTING AND EXTERIOR SIGN AT FRONT OF PROPERTY. REFER TO SITE PLAN FOR LOCATIONS.



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STARR COUNTY COURTHOUSE
TEMPORARY HOUSING
INTERIOR BUILD-OUT
1920 US-83 RIO GRANDE CITY, TX.

PROJECT NUMBER
2523

DATE
11/12/2025

PROJECT STATUS
FOR PERMIT AND CONT.

ELECTRICAL
RISER

E4.1