

THIS INSTRUMENT APPOINTS THE SUBSTITUTE TRUSTEE(S) IDENTIFIED TO SELL THE PROPERTY DESCRIBED IN THE SECURITY INSTRUMENT IDENTIFIED IN THIS NOTICE OF SALE. THE PERSON SIGNING THIS NOTICE IS THE ATTORNEY OR AUTHORIZED AGENT OF THE MORTGAGEE OR MORTGAGE SERVICER.

NOTICE OF SALE

PURSUANT TO AUTHORITY conferred upon the Trustee by that certain Deed of Trust dated December 18, 2023, executed by JACOB BRANDON LOVATO AND JASON BRANDON LOVATO, BOTH SINGLE PERSONS, ("Mortgagor") to Tim Williams, Trustee, for the benefit of 21ST MORTGAGE CORPORATION ("Mortgagee"), filed for record under Instrument No. 2023-8306, Official Public Records of Cooke County, Texas, Mortgagee appoints K. Clifford Littlefield or Norma Jean Hesselstine, whose address is listed below, or Mary Mancuso, Francesca Ortolani, Shelley Ortolani, Michele Hreha, Carol Dunmon, Jane Kline, Payton Hreha or Chasity Lewallen, whose business address is 14800 Landmark Blvd., Suite 850, Dallas, Texas 75254, under said Deed of Trust, in order to satisfy the indebtedness secured thereby and at the request of the holder of said indebtedness, default having been made in the covenants of the Deed of Trust, to sell on **Tuesday, October 7, 2025**, (that being the first Tuesday of the month), at public auction to the highest bidder for cash, at the Cooke County Courthouse at the place designated by the Commissioner's Court for such sales in Cooke County, Texas, (on the steps of the county courthouse or as designated by the County Commissioner), the sale to begin at 10:00 o'clock a.m. or not later than three (3) hours after such time on that date, selling all of the property as an entirety or in such parcels as the Trustee acting may elect the property offered for sale, more particularly described on Exhibit "A" attached hereto and made a part hereof, together with any and all improvements constructed upon, affixed to or located upon the above described real property, including but not limited to the 2024 Jessup Manufactured Home, Serial No. JH2W0893TX24AB.

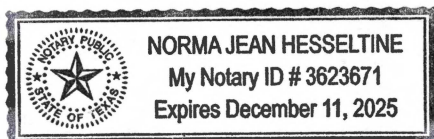
Assert and Protect Your Rights as a Member of the Armed Forces of the United States. If You Are or Your Spouse Is Serving on Active Military Duty, Including Active Military Duty as a Member of the Texas National Guard or the National Guard of Another State or as a Member of a Reserve Component of the Armed Forces of the United States, Please Send Written Notice of the Active Duty Military Service to the Sender of this Notice Immediately.

EXECUTED this 20 day of August, 2025.

K. CLIFFORD LITTLEFIELD, Mortgagee Attorney
UPTON, MICKITS & HEYMANN, L.L.P.
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Corpus Christi, Texas 78401
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Email: clittlefield@umhlaw.com

THE STATE OF TEXAS §
COUNTY OF NUECES §

SUBSCRIBED and SWORN TO BEFORE ME, the undersigned Notary Public, by **K. CLIFFORD LITTLEFIELD**, this 20 day of August, 2025, to certify which witness my hand and official seal.



Norma Jean Hesselstine
NOTARY PUBLIC, STATE OF TEXAS

EXHIBIT "A"

SITUATED in the State of Texas and County of Cooke, being part of the C.B. Gould Survey, Abstract No 413, being part of a called 39.8788 acre tract described as Tract One in a deed conveyed to Joezy Caffey, Tell Harrison, and Kelli Harrison recorded in Volume 2406, Page 791 of the Deed Records of Cooke County, Texas, said premises being more particularly described as follows:

BEGINNING at a capped iron rod found marking the northeast corner of said Caffey 39.8788 acre tract on the south line of a tract conveyed to Alan D. Donnell and April H. Salisbury trustees of the Donell-Salisbury Revocable Trust recorded in Volume 2436, Page 271 and marking the northwest corner of a coiled 39.8788 acre tract conveyed to Le'Ann Pembroke Caliban in a deed recorded in Volume 2406, Page 782;

THENCE with the east line of said Caffey 39.8788 acre tract, South 00°28'38" East, 209.98 feet to a capped iron rod found;

THENCE with the south line of said Caffey 39.8788 acre tract, South 89°23'18" West, 202.63 feet to a capped iron rod found;

THENCE with the east line of said Caffey 39.8788 acre tract, South 00°54'23" East, 531.98 feet to a capped iron rod set;

THENCE departing the east line of said Caffey 39.8788 acre tract, South 89°23'43" West, 300.00 feet to a capped iron rod set;

THENCE severing said Caffey 39.8788 acre tract, North 00°54'23" West, 551.95 feet to a capped iron rod set;

THENCE severing said Caffey 39.8788 acre tract, North 89°23'43" East, 250.00 feet to a capped iron rod set;

THENCE severing said Coffey 39.8786 acre tract, North 00°54'23" West, 190.03 feet to a capped iron rod set on the north line of said Caffey 39.8788 acre tract;

THENCE with the north line of said 39.8788 acre tract, North 89°23'43" East, 254.21 feet to the point of beginning and containing 5.0000 acres of land.